

**MANASQUAN PLANNING BOARD MEETING AGENDA
CONDUCTED WITH ZOOM
APRIL 05, 2022 7:00 PM – TUESDAY**

Join Zoom Meeting

<https://us06web.zoom.us/j/6652076223?pwd=WFZiUVcyQ0tqOHlrajFUa0dpRTc3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 665 207 6223

Password 365 120

Please take notice that the Manasquan Planning Board will convene a remote meeting on April 05, 2022 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Vouchers
2. Reorganization and Regular Meeting Minutes - January 4, 2022
3. Regular Meeting Minutes - February 1, 2022

RESOLUTION

4. #21-2022 Breeden - 73 Pearce Avenue, Block 64 Lot 17 - Application #01-2022

APPLICATION

5. #04-2022 - 120 South Street, LLC - 120 South Street - Block 70 Lot 2.04
6. Informal Presentation - Manasquan Holdings, LLC - Route 71 and Main Street - Block 90, Lot 12
7. Informal Presentation - Sansone, Ryan & Monica - 86 Main Street - Block 35 Lot 14
8. #03-2022 Lupinski, Marie, 13 1/2 Ocean Avenue - Block 157 Lot 4.03

OTHER BUSINESS

Comments from individual board members

9. Cancel April 19, 2022 Special Meeting

ADJOURNMENT

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

MAR 17 2022

DPW _____ CONST _____
PD _____ OTHER _____

March 15, 2022

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1830
Minor Subdivision – 120 South Street LLC
Block 70, Lot 2.04
120 South Street
R-2 Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Minor Subdivision Plan prepared by Justin Hedges, PLS, of InSite Surveying, LLC, dated August 27, 2021, last revised October 27, 2021.
2. Boundary, Topographic & Utility Survey prepared by Justin Hedges, PLS, of InSite Surveying, LLC, dated July 27, 2021, last revised August 10, 2021.

Existing Lot 2.04 contains 10,423 square feet and fronts on Marcellus Avenue and South Street. With this application, the applicant intends to create two lots, one containing 5,200 square feet with frontage on Marcellus Avenue and one containing 5,223 square feet with frontage on Marcellus Avenue and South Street.

The application is deemed complete as of March 15, 2022.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 - Residential Zone, where the existing and proposed residential lots are permitted.
2. The following bulk ('c') variance is required as part of this application:
 - a. A minimum lot frontage of 50 feet is required, whereas a frontage of 48.29 feet is proposed for Lot 2.041.

Re: Boro File No. MSPB-R1830
Minor Subdivision – 120 South Street LLC
Block 70, Lot 2.04

March 15, 2022
Sheet 2

3. The building heights are listed as “to comply” on the subdivision plan, however the allowable building height is listed as 35 feet. Since proposed Lot 2.041 is not a conforming lot due to the frontage variance, the height will be limited to 30 feet or a variance will be necessary.
4. The existing dwelling shown on the subdivision plan has already been removed from the lot.
5. The proposed subdivision plan shows a proposed 7.74’ wide future road widening easement to be dedicated to Monmouth County along South Street. The applicant has provided a Conditional Final Approval from the County which appears consistent with accepting this easement in place of a full right-of-way dedication.
6. The applicant has provided conceptual dwelling layouts and driveways locations proposed to Marcellus Avenue on the plan. The proposed improvements will need to replace the curb and sidewalk for the new driveway apron. A street excavation permit will be required for any new curb, apron and depressed curb located within the borough right-of-way.
7. The applicant should indicate if the subdivision is to be filed by map or by deed. If filed by deed, copies of the deeds and deed descriptions must be submitted to our office and the Board Attorney for review. The deed descriptions must be prepared by a Professional Land Surveyor licensed in the State of New Jersey. If it is to be filed by map, all necessary revisions to the plat must be made so that it conforms to the current Title Recordation Law requirements
8. Monuments are shown as to be set at the intersection of the proposed lot line. I suggest any monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If they are proposed to be set after the perfection of the subdivision, a bond must be posted with the Borough.
9. The subdivision plan proposes to remove the existing street tree for the proposed driveway access to Lot 2.041. Approval from the Borough Council must be obtained for the removal of this tree. I suggest any Board approval be made conditioned upon approval from the Council as the removal of the tree appears necessary for the construction of the proposed driveway.
10. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required. Grading and front yard landscaping plans will also be required.
11. Separate water and sewer utility connections will be required for both of the proposed lots.
12. The proposed revised lot numbers should be reviewed and approved by the tax office.



Re: Boro File No. MSPB-R1830
Minor Subdivision – 120 South Street LLC
Block 70, Lot 2.04


March 15, 2022
Sheet 3

13. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:

- a. Monmouth County Planning Board – Final Approval

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Patrick Ward, PE
InSite Engineering, 1955 Route 34, Suite 1A, Wall, NJ 07719
120 South Street LLC
52 Taylor Avenue, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

**BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736**

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: 120 South Street, LLC

*Applicant's Address: 52 Taylor Avenue, Manasquan, NJ 08736

*Telephone Number: Home: 732 223 6684 Cell: 732 921 1507

*e-mail Address: markh@herrmannconstruction.com tom@herrmannconstruction.com

*Property Location: 120 South Street, Manasquan, NJ 08736

*Block: 70 Lot: 2.04

*Type of Application: Minor Subdivision with Bulk Variances
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-
Site Plan Approval

*Date of Zoning Officer's Denial Letter: January 10, 2022
Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? No. Squan Custom Homes, LLC (an affiliated entity of the Manager Member of Applicant) is landowner

*Does the Applicant own any adjoining land? No

*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this
property? Yes, copy attached
(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this
application by any experts retained by the Planning Board for advice in this matter.

[Signature]
Signature of Applicant or Agent

2/17/22
Date

06/2021

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK E. DIROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

January 10, 2022

120 South Street, LLC
52 Taylor Avenue
Manasquan, NJ 08736

Re: Block: 70 Lot: 2.04 Zone: R-2

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Remove all of the buildings and structures on the property, subdivide Block: 70, Lot: 2.04 into two lots in the R-2 Zone. (Proposed lot: 2.041 – 4,917.3s.f.) (Proposed lot: 2.042 – 5,200s.f.) and construct a new single family dwelling on each lot.

Survey prepared by Justin Hedges on July 27, 2021. Minor subdivision plot plan prepared by Justin Hedges on October 27, 2021. Conceptual building plans prepared by Paul Grabowski on October 15, 2021.

Application denied for the following reason(s):

Proposed Lot 2.041

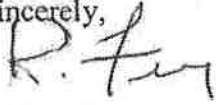
Section 35-9.4 - Lot Frontage – 50ft. Required
48.28ft. Proposed

“ - Building Coverage – 30% Permitted
31.1% Proposed

“ - Building Height – 30ft. Permitted
34.9ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long, sweeping underline.

Richard Furey
Zoning/Code Enforcement Officer

**DESCRIPTION OF A ROAD
WIDENING EASEMENT OVER
PROPOSED LOT 2.041, BLOCK 70
BOROUGH OF MANASQUAN
MONMOUTH COUNTY
NEW JERSEY**



ALL that certain lot, tract or parcel of land, situate in Borough of Manasquan, Monmouth County, New Jersey, being known as part of Lot 2.04, Block 70 as shown on the Tax Map of the Borough of Manasquan and being described as follows:

ALSO known and legally described as a 7.74' wide easement to Monmouth County for Future Road widening, as shown on a map entitled, "120 South Street Minor Subdivision, Block 70, Lot 2.04, 120 South Street, Borough of Manasquan, Monmouth County, NJ," by Insite Engineering, LLC., dated 8/27/21 and revised 10/27/21.

BEGINNING at a point in the Southerly right of way line of Marcellus Avenue (60' R.O.W.), said point being distant 10.00 feet East from the intersection formed by said Southerly line of Marcellus Avenue, extended, with the Easterly right of way line of South Street (45' R.O.W.) and running; thence,

- 1) Along said line of Marcellus Avenue, South 51 degrees 21 minutes 56 seconds East, a distance of 22.74 feet to a point on a curve; thence
- 2) Along said curve, to the left, having a radius of 25.00 feet and an arc length of 39.27 feet to a point of tangency, thence
- 3) South 38 degrees 38 minutes 04 seconds West, a distance of 79.00 feet to a point; thence
- 4) North 51 degrees 21 minutes 56 seconds West, a distance of 7.74 feet to a point in said right of way line of South Street; thence
- 5) Along said line, North 38 degrees 38 minutes 04 seconds East, a distance of 94.00 to a point of curvature; thence
- 6) Along a curve to the right, having a radius of 10.00 feet and an arc length of 15.71 feet to the true point and place of **BEGINNING**.

CONTAINING 918 Square feet or 0.021 Acres.

11/11/21


DATE

InSite Surveying, LLC

1955 Route 34; Suite 1A • Wall, NJ 07719

732-531-7100 (ph) • 732-531-7344 (fx)

www.InSiteSurveying.net


JUSTIN J. HEDGES
NJ PLS NO. GS43362

MARCELLUS AVENUE (60' R.O.W.)
(37' WIDE BIT. CONC.)

$R = 10.00' L = 15.71'$
 $\Delta = 90^{\circ} 00' 00''$

$S51^{\circ} 21' 56'' E$
 $S45^{\circ} 00' 00'' W 100.43$ (DEED)
90.43'

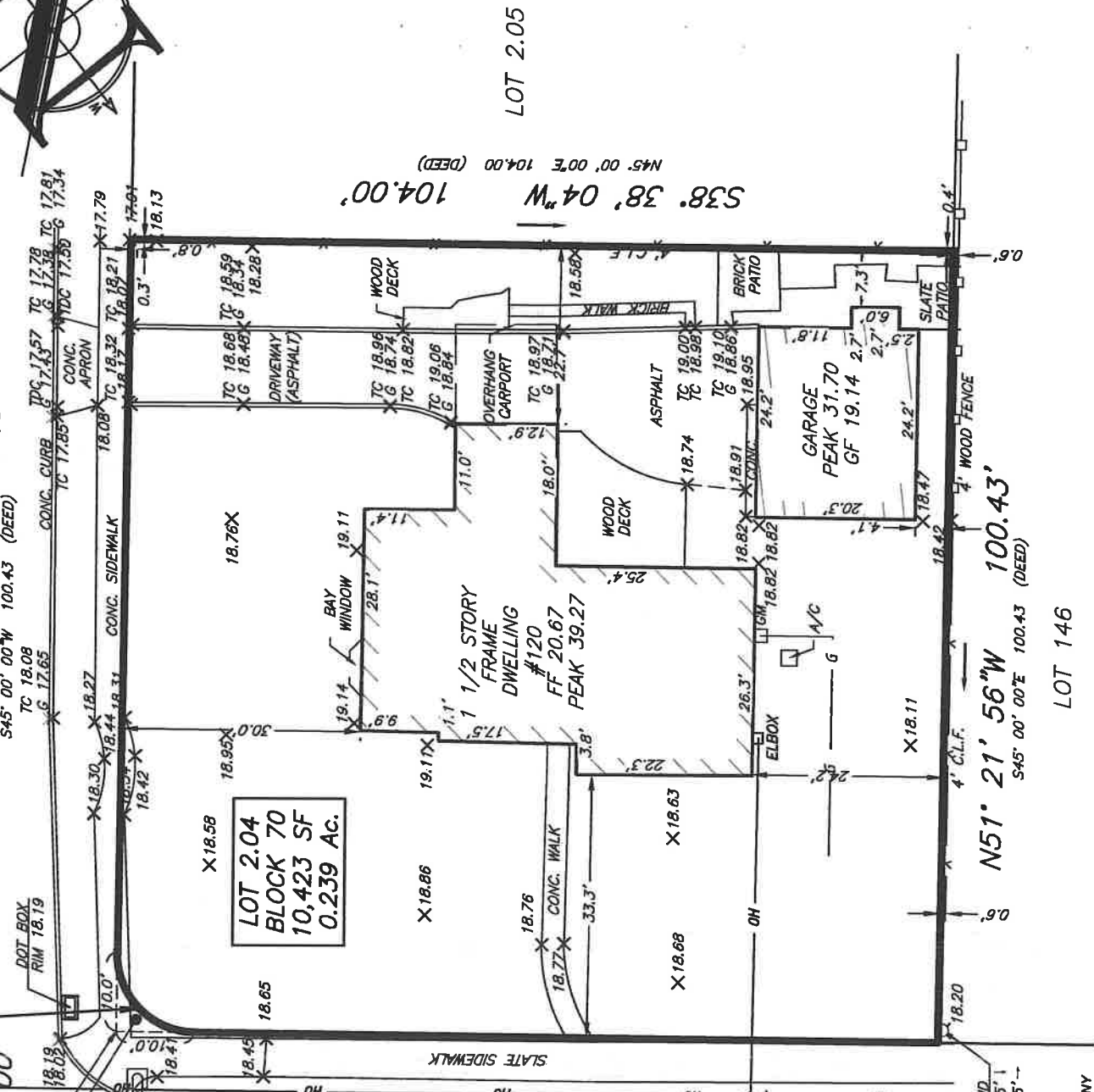
SITE BENCHMARK
SAY MANHOLE
RIM 18.03

REFERENCE
MERIDIAN
N.J.P.C.S.
NAD 1983



SOUTH STREET (45' R.O.W.)
(A.K.A. COUNTY ROUTE 20)
 $N38^{\circ} 38' 04'' E$
 $S45^{\circ} 00' 00'' W 104.00$ (DEED)
94.00'

LOT 2.04
BLOCK 70
10,423 SF
0.239 AC.



CERTIFIED TO:

SQUAN CUSTOM HOMES, LLC
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
HENDERSON AND HENDERSON, P.C.

SURVEY NOTES:

THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003.C.14 (C45-8-36.3) AND N.J.A.C. 13-40 - 5.1(D).

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE REPORT NO. TA-29457 AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS CONTAINED THEREIN.

ALL EXISTING UTILITIES ARE APPROXIMATE PER MARKOUT AND VISIBLE FIELD EVIDENCE. ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION.

THIS SURVEY HAS NOT DETERMINED THE PRESENCE OF WETLANDS AT THE SITE.

SUBJECT PROPERTY IS NOT IN A FEMA FLOOD ZONE.

SURVEY MAP REFERENCES:

A MAP ENTITLED, "INTERSECTION IMPROVEMENTS AT COUNTY ROUTE 20, SOUTH STREET, AND MARCELLUS AVENUE / LAKEWOOD ROAD IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY", BY LGA ENGINEERING INC., DATED 12-04-07.

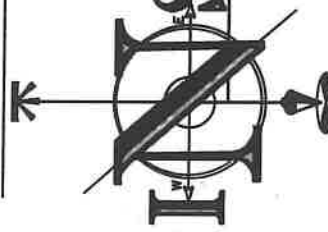
FILED MAP REFERENCES:

A MAP ENTITLED, "MAP OF SEA VIEW PROPERTY, 158, BUILDING LOTS, THE N.W. MORRIS PROPERTY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY," FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE, DATED MAY 1, 1876 AS CASE NO. 30 SHEET NO. 22.

DEED REFERENCES:
DB 5105 PG 0505
DB 8743 PG 9847
DB OR-8743 PG 9847

ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88).

BOUNDARY TOPOGRAPHIC & UTILITY SURVEY



InSite Surveying, LLC
CERTIFICATE OF AUTHORIZATION:
24GA28290100
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteSurveying.net
www.InSiteSurveying.net

Site Location:

120 SOUTH STREET
LOT 2.04, BLOCK 70
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

Justin J. Hedges
JUSTIN J. HEDGES

PROFESSIONAL LAND SURVEYOR NJ LIC. NO. GS43362

InSite Project No.
21-S705-03
Drawing No.
21-S705

Date
07/27/21

Scale
1" = 20'

Drawn By:
GS / BMW

Checked By:
JS

Revisions
8/10/21 - BMW - CERTS

DESCRIPTION OF PROPERTY
PROPOSED LOT 2.041, BLOCK 70
BOROUGH OF MANASQUAN
MONMOUTH COUNTY
NEW JERSEY



ALL that certain lot, tract or parcel of land, situate in Borough of Manasquan, Monmouth County, New Jersey, being known as part of Lot 2.04, Block 70 as shown on the Tax Map of the Borough of Manasquan and being described as follows:

ALSO known and legally described as Proposed Lot 2.041, Block 70, as shown on a map entitled, "120 South Street Minor Subdivision, Block 70, Lot 2.04, 120 South Street, Borough of Manasquan, Monmouth County, NJ," by Insite Engineering, LLC., dated 8/27/21 and revised 10/27/21.

BEGINNING at a point in the Southerly right of way line of Marcellus Avenue (60' R.O.W.), said point being distant 10.00 feet East from the intersection formed by said Southerly line of Marcellus Avenue, extended, with the Easterly right of way line of South Street (45' R.O.W.), extended, and running; thence,


- 1) Along said line of Marcellus Avenue, South 51 degrees 21 minutes 56 seconds East, a distance of 40.43 feet to a point; thence
- 2) South 38 degrees 38 minutes 04 seconds West, a distance of 104.00 feet to a point; thence
- 3) North 51 degrees 21 minutes 56 seconds West, a distance of 50.43 feet to a point in said right of way line of South Street; thence
- 4) Along said line, North 38 degrees 38 minutes 04 seconds East, a distance of 94.00 to a point of curvature, thence
- 5) Along a curve to the right, having a radius of 10.00 feet and an arc length of 15.71 feet to the true point and place of **BEGINNING**.

CONTAINING 5,223 Square feet or 0.120 Acres.

SUBJECT TO a future road widening easement.

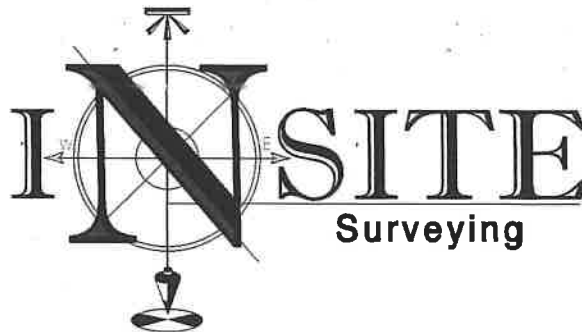
11/11/21

DATE


 JUSTIN J. HEDGES
 NJ PLS NO. GS43362

InSite Surveying, LLC

1955 Route 34; Suite 1A • Wall, NJ 07719
 732-531-7100 (ph) • 732-531-7344 (fx)
 www.InSiteSurveying.net

DESCRIPTION OF PROPERTY**PROPOSED LOT 2.042, BLOCK 70****BOROUGH OF MANASQUAN****MONMOUTH COUNTY****NEW JERSEY**

ALL that certain lot, tract or parcel of land, situate in Borough of Manasquan, Monmouth County, New Jersey, being known as part of Lot 2.04, Block 70 as shown on the Tax Map of the Borough of Manasquan and being described as follows:

ALSO known and legally described as Proposed Lot 2.042, Block 70, as shown on a map entitled, "120 South Street Minor Subdivision, Block 70, Lot 2.04, 120 South Street, Borough of Manasquan, Monmouth County, NJ," by Insite Engineering, LLC., dated 8/27/21 and revised 10/27/21.

BEGINNING at a point in the Southerly right of way line of Marcellus Avenue (60' R.O.W.), said point being distant 50.43 feet East from the intersection formed by said Southerly line of Marcellus Avenue, extended, with the Easterly right of way line of South Street (45' R.O.W.), extended, and running; thence,

- 1) Along said line of Marcellus Avenue, South 51 degrees 21 minutes 56 seconds East, a distance of 50.00 feet to a point; thence
- 2) South 38 degrees 38 minutes 04 seconds West, a distance of 104.00 feet to a point; thence
- 3) North 51 degrees 21 minutes 56 seconds West, a distance of 50.00 feet to a point; thence
- 4) North 38 degrees 38 minutes 04 seconds East, a distance of 104.00 to the true point and place of **BEGINNING**.

CONTAINING 5,200 Square feet or 0.119 Acres.

11/11/21

DATE

JUSTIN J. HEDGES
NJ PLS NO. GS43362

InSite Surveying, LLC

1955 Route 34; Suite 1A • Wall, NJ 07719
732-531-7100 (ph) • 732-531-7344 (fx)
www.InSiteSurveying.net

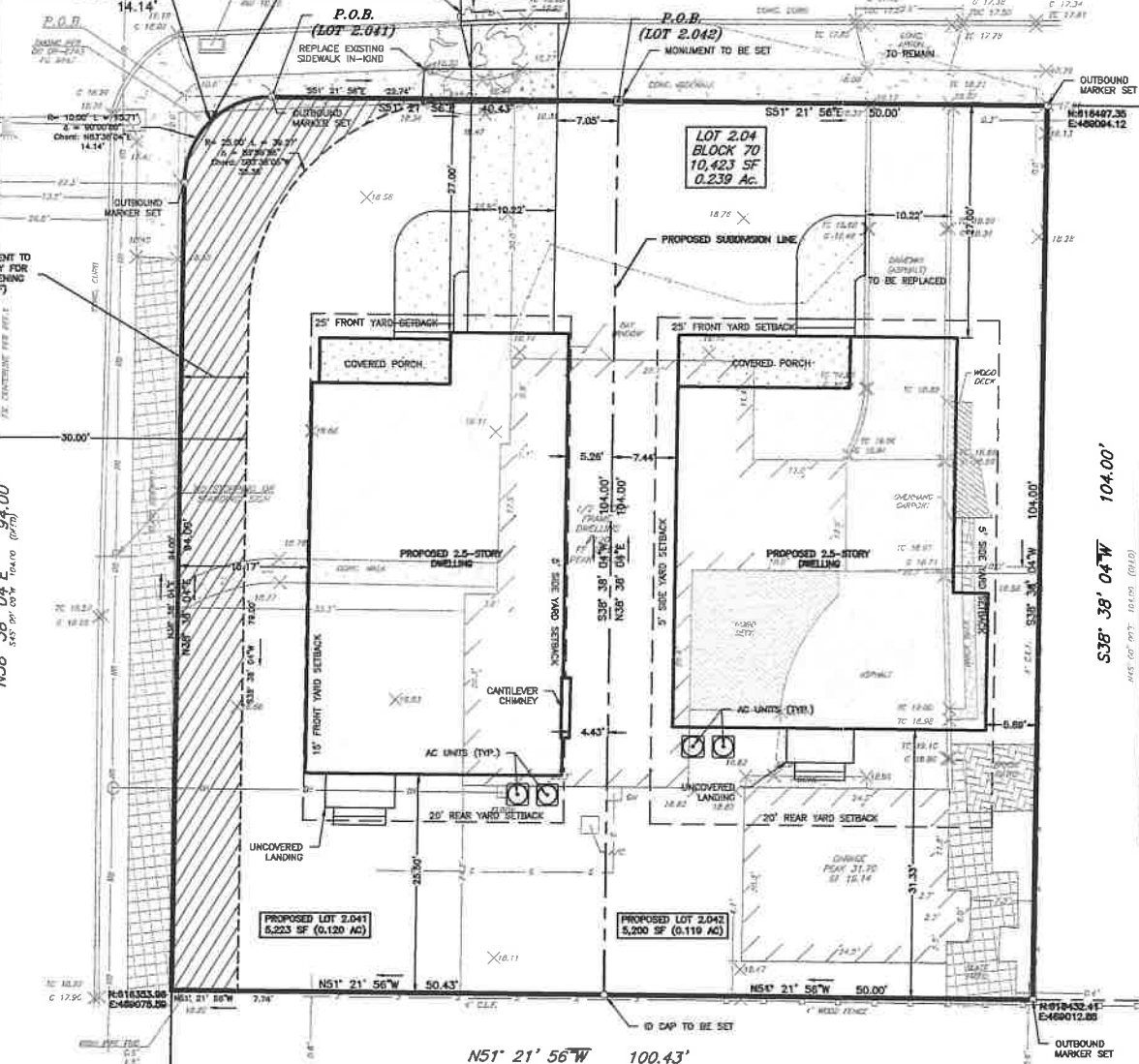
GENERAL NOTES:

1. SUBJECT PROPERTY: BLOCK 70, LOT 2.04; OF TAX MAP SHEET #14; 120 SOUTH STREET, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ.
2. OWNER & APPLICANT: SQUAN CUSTOM HOMES, LLC, 52 TAYLOR AVENUE, MANASQUAN, NJ 08736.
3. PURPOSE OF THIS PLAN: THIS PLAN HAS BEEN PREPARED TO SUPPORT AN APPLICATION TO THE BOROUGH OF MANASQUAN AND THE MONMOUTH COUNTY PLANNING BOARD FOR MINOR SUBDIVISION APPROVAL.
4. SURVEY DATA: SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY BLOCK 70 LOT 2.04; 120 SOUTH STREET"; LAST REVISED 09/10/21.
5. PROPOSED LOT NUMBERS: PROPOSED LOT NUMBERS SHALL BE VERIFIED BY THE BOROUGH OF MANASQUAN TAX ASSESSOR AS A CONDITION OF APPROVAL.
6. SUBDIVISION: THIS SUBDIVISION TO BE FILED BY DEED.
7. BASE FLOOD ELEVATION: ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)," COMMUNITY PANEL #40250456F, DATED 8/29/99, THE SITE IS NOT LOCATED IN A FLOOD ZONE. ACCORDING TO FEMA'S PRELIMINARY FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)," COMMUNITY PANEL #340250456G, DATED 01/01/15, THE SITE IS NOT LOCATED IN A FLOOD ZONE. BOTH THE EFFECTIVE AND PRELIMINARY FEMA MAPS REFERENCE THE NAVD83 VERTICAL DATUM.
8. CLOSURE: BEARINGS AND DISTANCES ARE WITHIN A LIMIT OF ERROR OF NOT MORE THAN ONE (1) PART IN TEN THOUSAND (10,000).
9. VERIFICATION OF UTILITIES: EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE APPROXIMATE PER THE REFERENCED SURVEY. THE CONTRACTOR SHALL PERFORM SAMPLE TEST PITS TO DETERMINE EXACT LOCATIONS. ALL EXISTING UTILITIES TO REMAIN AND BE UTILIZED, THE CONTRACTOR SHALL CONFIRM ADEQUACY AND CONDITION OF ALL EXISTING UTILITIES.
10. UTILITIES: BOTH NEWLY CREATED LOTS SHALL BE SERVED BY PUBLIC WATER AND SEWER.
11. PARKING: ANY PROPOSED DEVELOPMENT SHALL PROVIDE THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES IN ACCORDANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS.
12. FUTURE DRIVEWAYS: PER §2-1.1 OF THE COUNTY'S DEVELOPMENT REGULATIONS, ACCESS TO SOUTH STREET IS NOT PERMITTED. ACCESS SHALL BE FROM THE MUNICIPAL ROAD (MARCELLUS ROAD) ONLY.
13. INDIVIDUAL LOT DEVELOPMENT PLANS: INDIVIDUAL ZONING & GRADING PLANS ARE REQUIRED FOR THE FUTURE DEVELOPMENT OF DWELLINGS ON EACH PROPOSED LOT. DRYWELLS SHALL BE PROVIDED FOR EACH DWELLING AND SHALL BE SIZED TO STORE ONE INCH (1") OF RAINFALL OVER THE PROPOSED ROOF AREA. DEPTH TO SEASONAL HIGH GROUNDWATER SHALL BE DETERMINED BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO DRYWELL DESIGN. ALL EXISTING SITE IMPROVEMENTS ARE TO BE REMOVED.
14. COORDINATES: THE COORDINATES SHOWN SHALL NOT BE USED TO ESTABLISH BOUNDARY LINES ON THE GROUND. BEARINGS AND DISTANCES ARE WITHIN A LIMIT OF ERROR OF NOT MORE THAN ONE (1) PART IN TEN THOUSAND (10,000).

MARCELLUS AVENUE (60' R.O.W.)

(37" WIDE BIT CONC.)

$R = 10.00' \quad L = 15.71' \quad \Delta = 90^{\circ}00'00''$
 $\Delta = 90^{\circ}00'00''$
 Chord: $N83^{\circ}38'04''E \quad 14.14'$



TAX MAP

LOCATION MAP

Scale: 1"=200'

Scale: 1"=500'

ZONING COMPLIANCE CHART						
R-2 (ONE-FAMILY RESIDENTIAL) ZONE (§35-5.2)						
USE: PERMITTED						
ORD. SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED LOT 2.041	PROPOSED LOT 2.042	COMPLIES
SCHED. I	MIN. LOT AREA (SF)	5,000	10,423 (0.239 AC)	5,223 (0.120 AC)	5,200 (0.119 SF)	YES
SCHED. I	MIN. LOT FRONTAGE (FT)	60	80.43	150.14	50.00	YES
SCHED. I	MIN. FRONT YARD SETBACK (FT)	25	33.3 (1)	15.17 (V)	N/A	NO
SCHED. I	MIN. REAR YARD SETBACK (FT)	25	30.0	27.00	27.00	YES
SCHED. I	MIN. SIDE YARD SETBACK (ONE SIDE) (FT)	20	24.2 (1)	25.50	31.33	YES
SCHED. I	BOTH SIDES (FT)	5	22.7 (2)	6.26	5.68	YES
SCHED. I	MAX. BUILDING HEIGHT (FT)	35	(N)	TO COMPLY	TO COMPLY	YES
SCHED. I	MAX. BUILDING HEIGHT (STOREYS)	2.5	1.5	2.5	2.5	YES
35-7.2.A	MAX. DRIVEWAY WIDTH AT CURBLINE (FT)	20	12.6	12.75	NO CHANGE	YES
35-7.2.E	MIN. DRIVEWAY SIDE YARD SETBACK (FT)	1	10.8	7.55	NO CHANGE	YES
35-6.2.B(1)	ACCESSORY STRUCTURE	1	2 (N)	1 (X)	1 (X)	YES
35-6.2.B(2)	MAX. NUMBER OF PRIVATE CARPORTS OR GARAGES	1	2 (N)	1 (X)	1 (X)	YES
35-6.2.B(3)	ALLOWABLE YARD LOCATION	SIDE/REAR	SIDE/REAR	N/A (X)	N/A (X)	YES
35-6.2.B(4)	MIN. REAR YARD SETBACK (FT)	5	4.1 (N)	N/A	N/A	YES
35-6.2.B(5)	MIN. SIDE YARD SETBACK (FT)	5	7.3	N/A	N/A	YES
35-6.2.B(6)	MAX. BUILDING HEIGHT (FT)	15	(N)	N/A	N/A	YES
35-6.2.B(7)	MAX. BUILDING COVERAGE (SF)	600	506.8	N/A	N/A	YES
35-6.2.B(8)	ACCESSORY STRUCTURE, CARPORT	SIDE/REAR	SIDE	N/A	N/A	YES
35-6.2.B(9)	ALLOWABLE YARD LOCATION	SIDE/REAR	SIDE	N/A	N/A	YES
35-6.2.B(10)	MIN. REAR YARD SETBACK (FT)	5	49.7	N/A	N/A	YES
35-6.2.B(11)	MIN. SIDE YARD SETBACK (FT)	5	10.8	N/A	N/A	YES
35-6.2.B(12)	MAX. BUILDING HEIGHT (FT)	15	(N)	N/A	N/A	YES
35-6.2.B(13)	MAX. BUILDING COVERAGE (SF)	600	181.8	N/A	N/A	YES
SCHED. I	LOT COVERAGE	20	19.3 (2,012 SF)	29.24 (1,527 SF)	29.92 (1,556 SF)	YES
SCHED. I	MAX. BUILDING COVERAGE (%)	40	34.9 (3,626 SF)	38.11 (1,981 SF)	38.39 (1,996 SF)	YES

(N) EXISTING NON-COMFORMITY (X) IMPROVED CONDITION (V) VARIANCE / NON-COMFORMITY ELIMINATED
 (E) EXISTING VARIANCE (P) PROPOSED VARIANCE (W) PROPOSED WAGER
 (1) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THE OFFICE
 (1) 35-11.8(h) ENTRY STEPS OR STAIRS MAY BE LOCATED IN THE REQUIRED FRONT AND REAR SETBACK AREAS.
 (2) 35-11.8(h) ROOF OVERHANGS AND CHIMNEYS MAY PROJECT NOT MORE THAN 18 INCHES INTO THE REQUIRED SIDE SETBACK AREA.

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
OVERHEAD LATERAL	OVERHEAD LATERAL
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SKIN POST	SKIN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

PROPERTY OWNERS WITHIN 200' (09/07/2021)			
1	30	MARCELLUS AVENUE	MANASQUAN, NJ 08736
2	2001	MARCELLUS AVENUE	MANASQUAN, NJ 08736
3	71.01	MARCELLUS AVENUE	MANASQUAN, NJ 08736
4	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
5	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
6	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
7	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
8	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
9	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
10	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
11	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
12	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
13	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
14	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
15	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
16	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
17	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
18	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
19	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
20	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
21	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
22	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
23	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
24	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
25	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
26	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
27	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
28	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
29	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736
30	23.03	MARCELLUS AVENUE	MANASQUAN, NJ 08736

PROJECT INFORMATION

120 SOUTH STREET MINOR SUBDIVISION

PROJECT LOCATION: BLOCK 70, LOT 2.04, 120 SOUTH STREET, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ

CONTRACTOR: SQUAN CUSTOM HOMES, LLC, 52 TAYLOR AVENUE, MANASQUAN, NJ 08736

APPLICANT'S PROFESSIONALS

SURVEYOR: INSITE SURVEYING, LLC, 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

ATTORNEY: HENDERSON & HENDERSON, 52 ABE VOORHEES DRIVE, MANASQUAN, NJ 08736, F: 732-223-0800, F: 732-223-3487

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY DATED HEREON, LAST REVISED 09/10/21, MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE PROVISIONS OF THE MAP FILING LAW AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR SET.

Justin J. Mendes, PLS

JUSTIN J. MENDES, PLS
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 05-3382

INSITE ENGINEERING, LLC
SINCE 2003

CALL BEFORE YOU DIG!
NJ ONE CALL: 800-772-1000

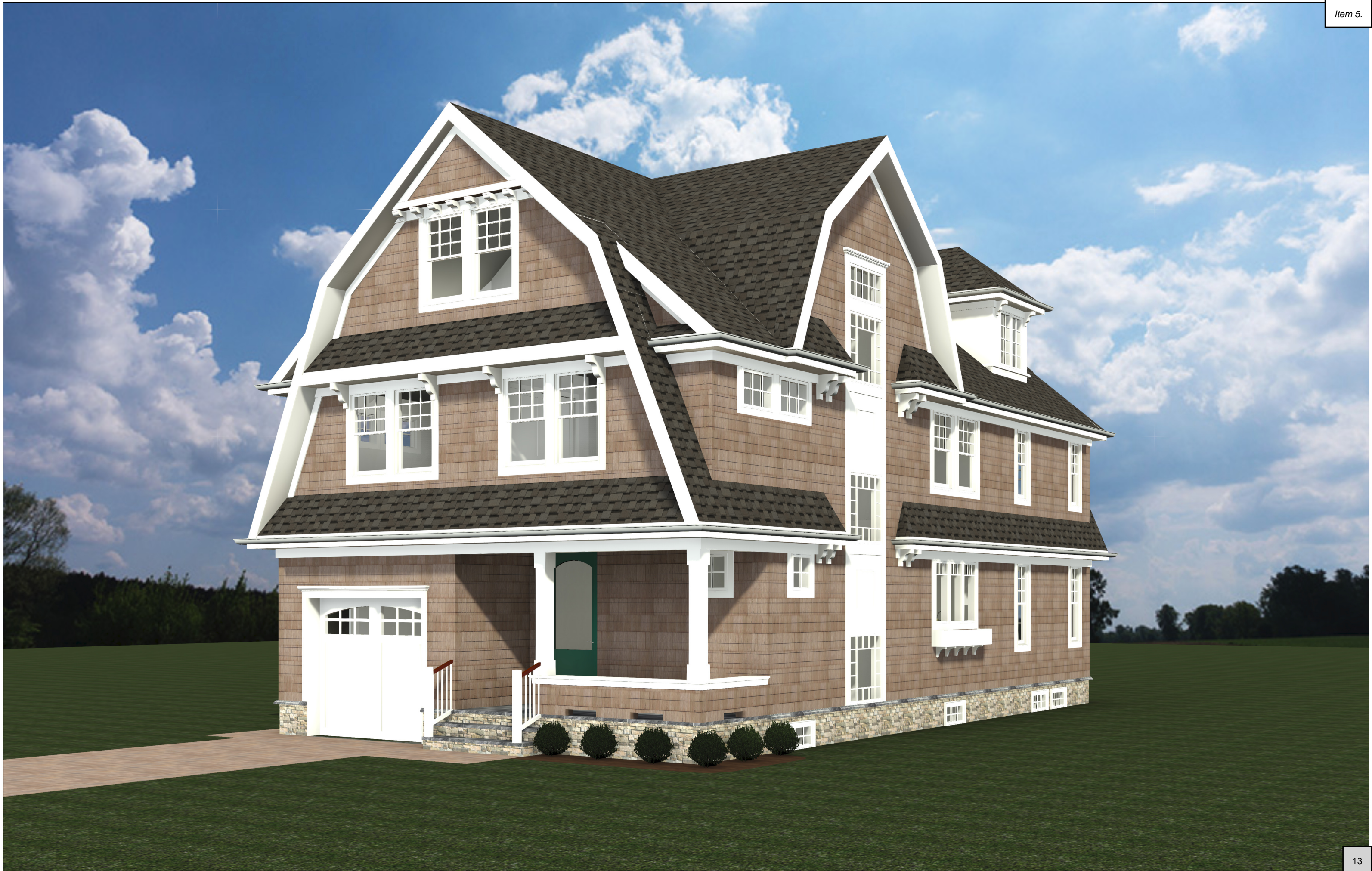
INSITE ENGINEERING, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
insite@insiteeng.net www.insiteeng.net

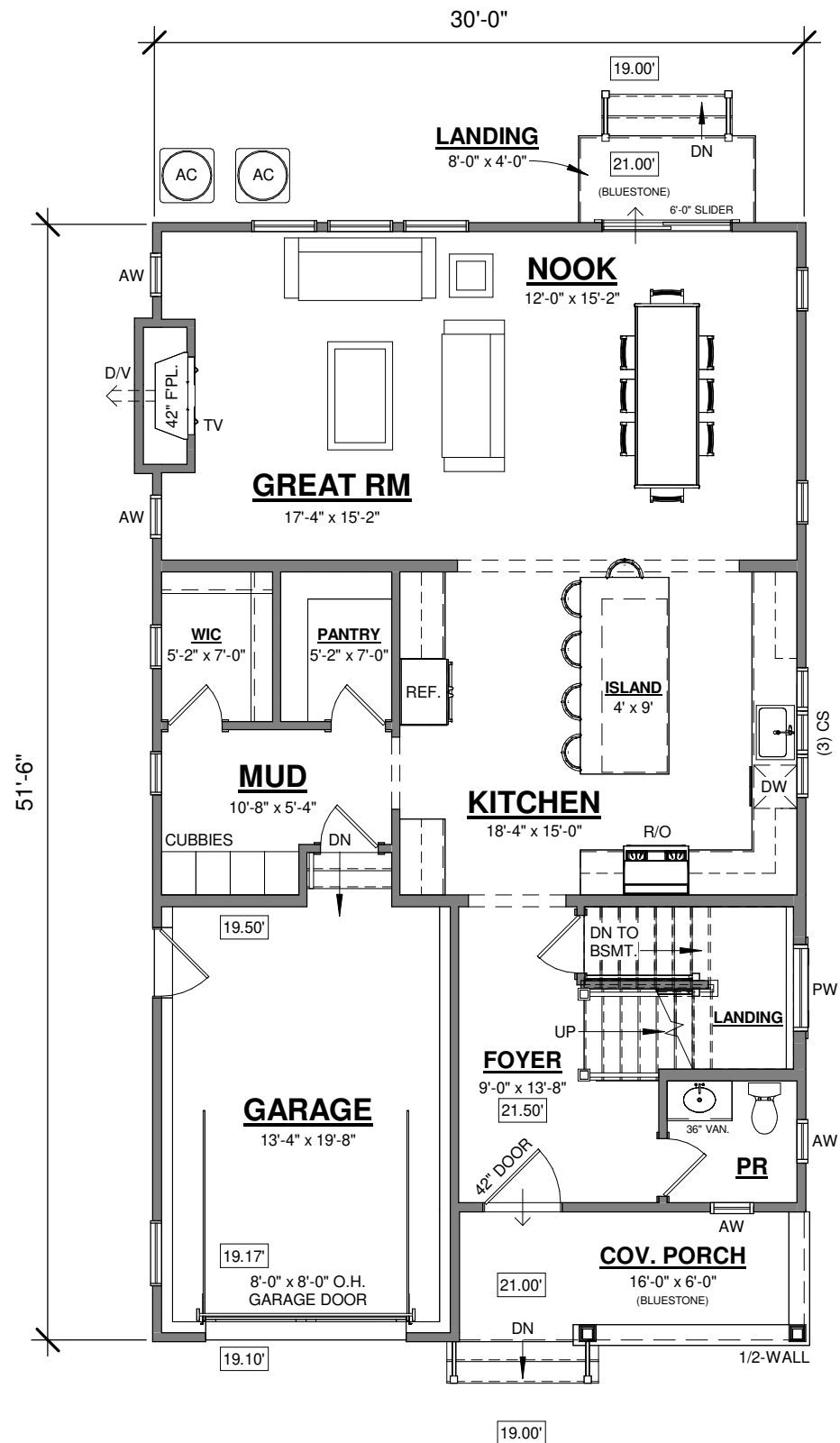
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Patrick R. Ward, PE, PP

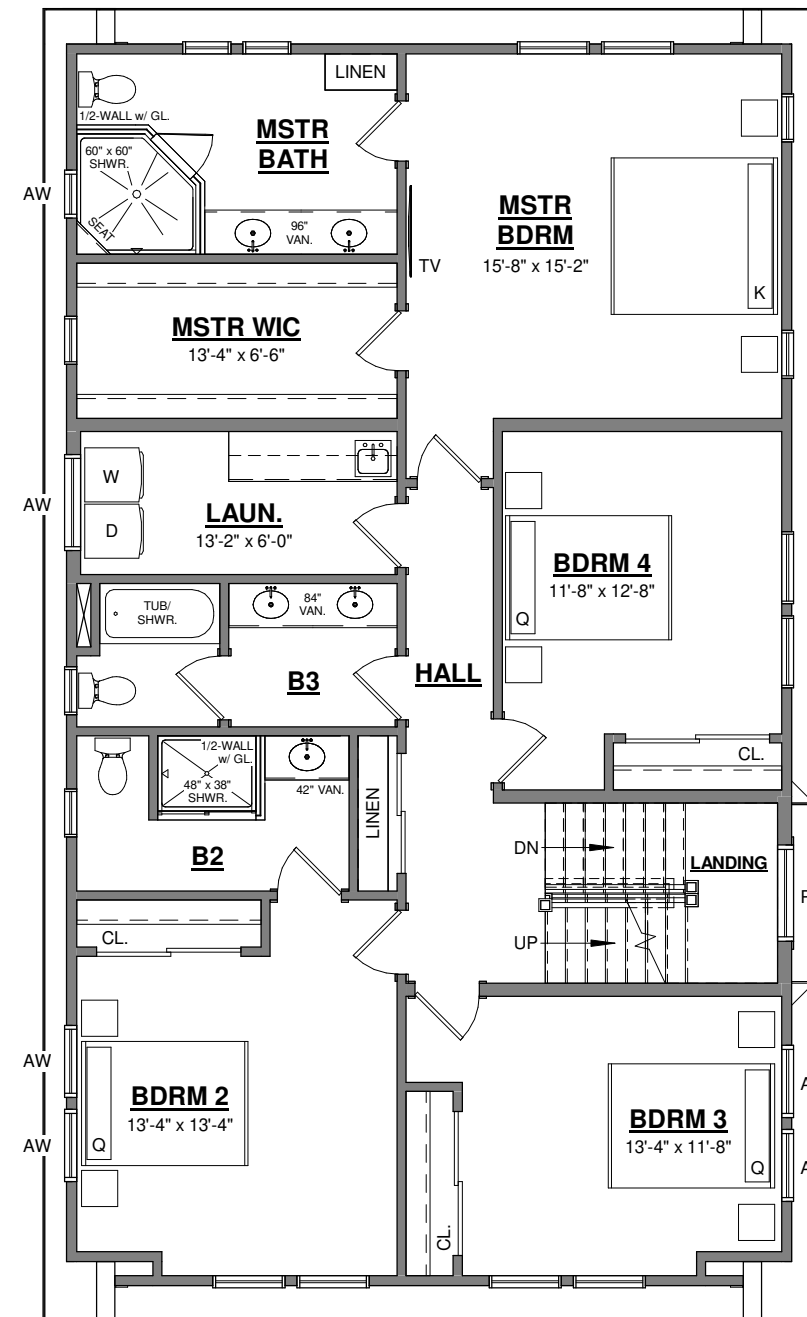
PATRICK R. WARD, PE, PP
PROFESSIONAL ENGINEER, PLANNER
N.J.P.E. 24GE05079000 N.J.P.P. 33LN02028000

CERTIFICATIONS	
PLANNING BOARD	CLASSIFIED AND APPROVED AS A MINOR SUBDIVISION BY THE BOROUGH OF MANASQUAN PLANNING BOARD
BOARD CHAIRPERSON	
ATTEN:	
BOARD ENGINEER	DATE
THIS PLAN (OR A DEED DESCRIBING THIS SUBDIVISION) MUST BE FILED IN THE OFFICE OF THE CLERK OF MONMOUTH COUNTY ON OR BEFORE	
DATE: 08/27/21 DESIGNED BY: PRW	
JOB # 21-1766-01 CHECKED BY: J.J.H.	
CAD ID: 21-1766-011	
<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
APPROVED BY:	
<input type="checkbox"/> FOR CONSTRUCTION	
PLANNING INFORMATION	
DRAWING TITLE: MINOR SUBDIVISION	
SHEET TITLE: SUBDIVISION PLAT	
SHEET NO. 1 OF 1	





1 1st Floor Plan
1/8" = 1'-0"



2 2nd Floor Plan
1/8" = 1'-0"

BUILDING PROGRAM

1st Floor - 1,168 sq. ft.
2nd Floor - 1,461 sq. ft.
Half-Story - 629 sq. ft.
Total - 3,258 sq. ft.

Garage - 287 sq. ft.
Opt. Fin. Bsmt. - 608 sq. ft.
Building Cov. - 1,551 sq. ft.
(MAX. - 1,566 sq. ft.)

Drawn By: Item 5.
Checked By: PG
Date: 10/15/2021



VIRTUOSO
ARCHITECTURE

Paul Grabowski
Registered Architect

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Building #3, Suite 304
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**SQUAN CUSTOM
HOMES
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.041**

FLOOR PLANS

B1 Scale: As indic

Drawn By: PG
Checked By: PG
Date: 10/15/2021

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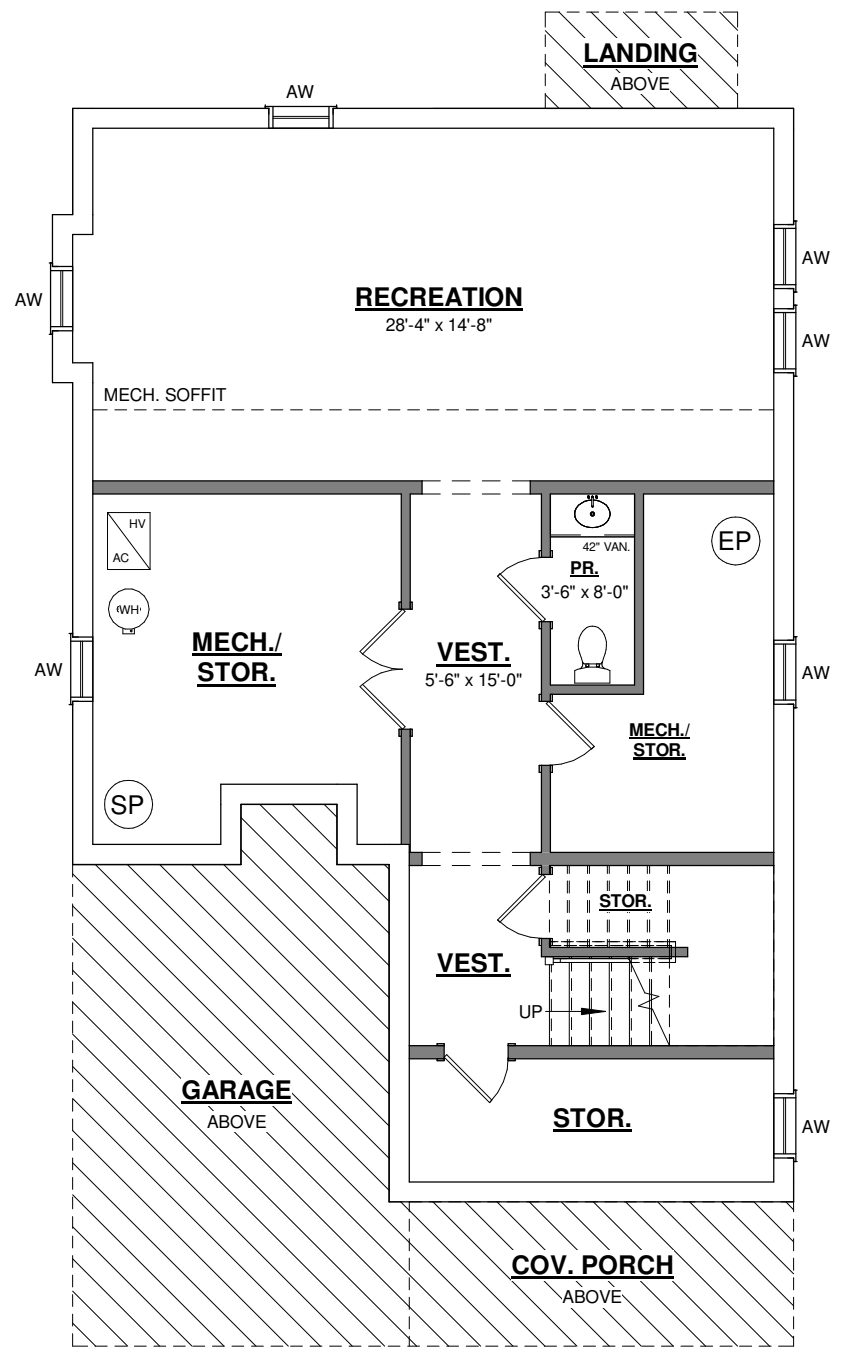
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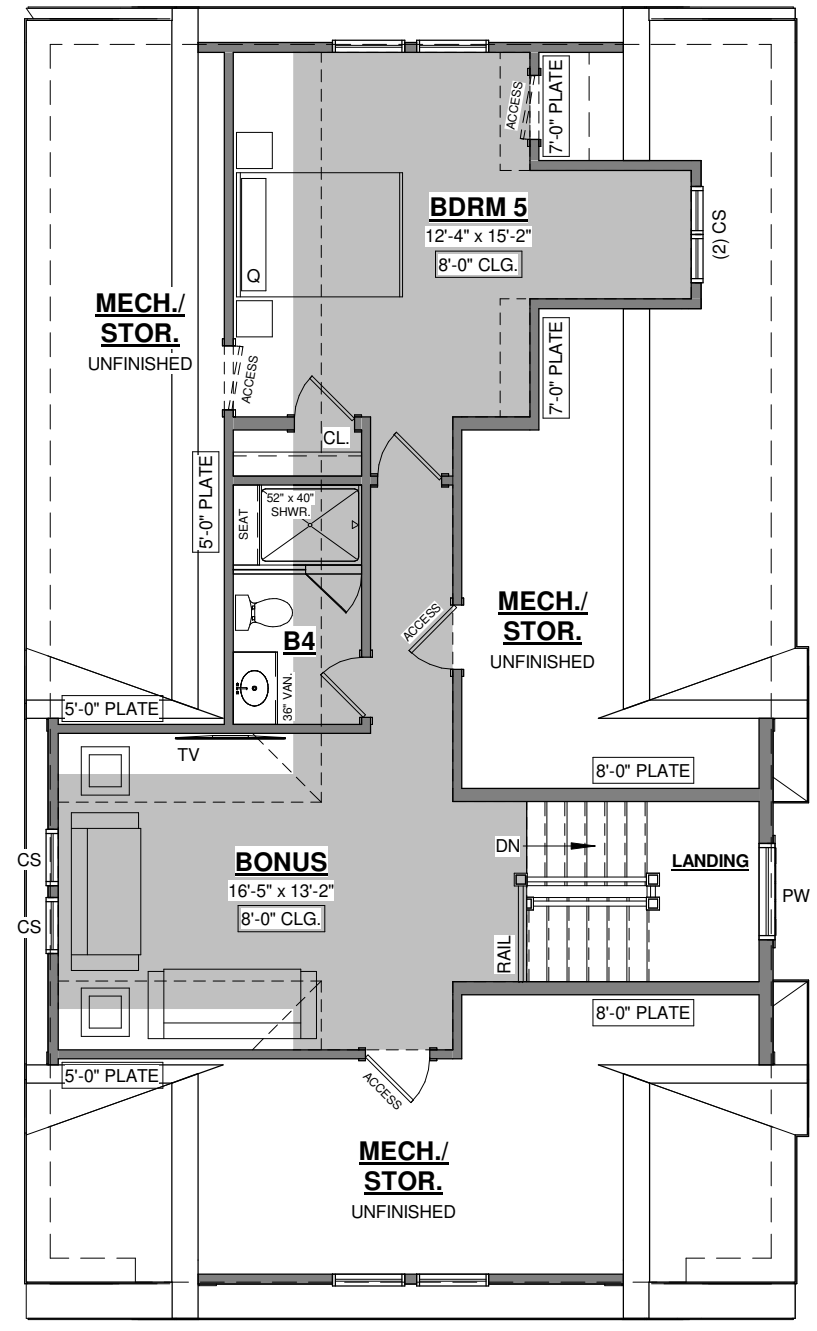
SQUAN CUSTOM HOMES
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.041

FLOOR PLANS

B2 Scale: As indic 15



1 Opt. Basement Plan
1/8" = 1'-0"



2 Half-Story Plan
1/8" = 1'-0"

HALF-STORY CALCS

2nd Floor Total - 1,461 sq. ft.
Half-Story 7'-0" & over - 479 sq. ft.
Percentage - 32.79%
(Under 33% meets code req.)

2nd Floor Total - 1,461 sq. ft.
Half-Story 5'-0" & Over - 629 sq. ft.
Percentage - 43.05%
(Under 60% meets zoning req.)

Drawn By:
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Date: 10/15/2021




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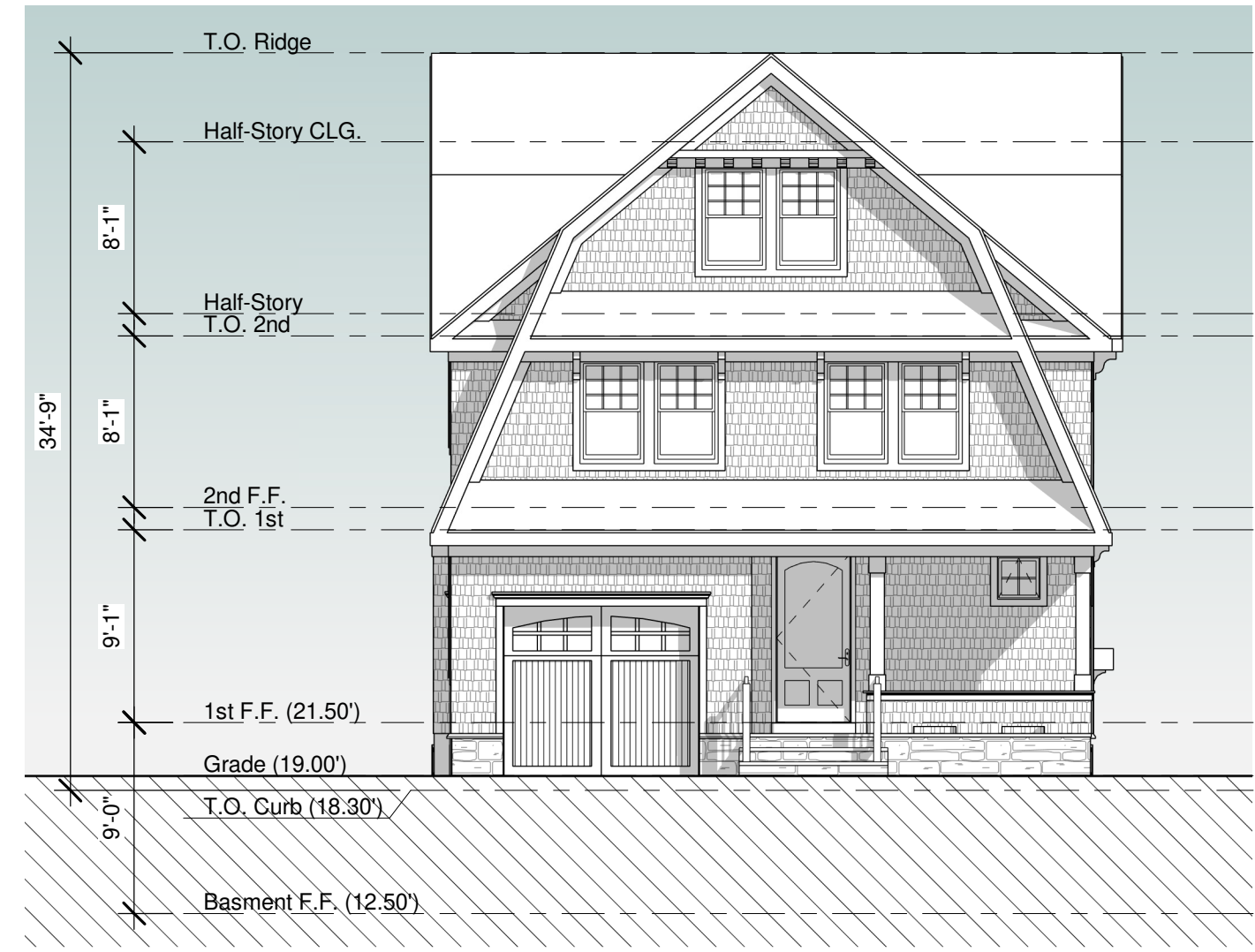
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SQUAN CUSTOM HOMES
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MANASQUAN, NJ
BLOCK 70, LOT 2.041

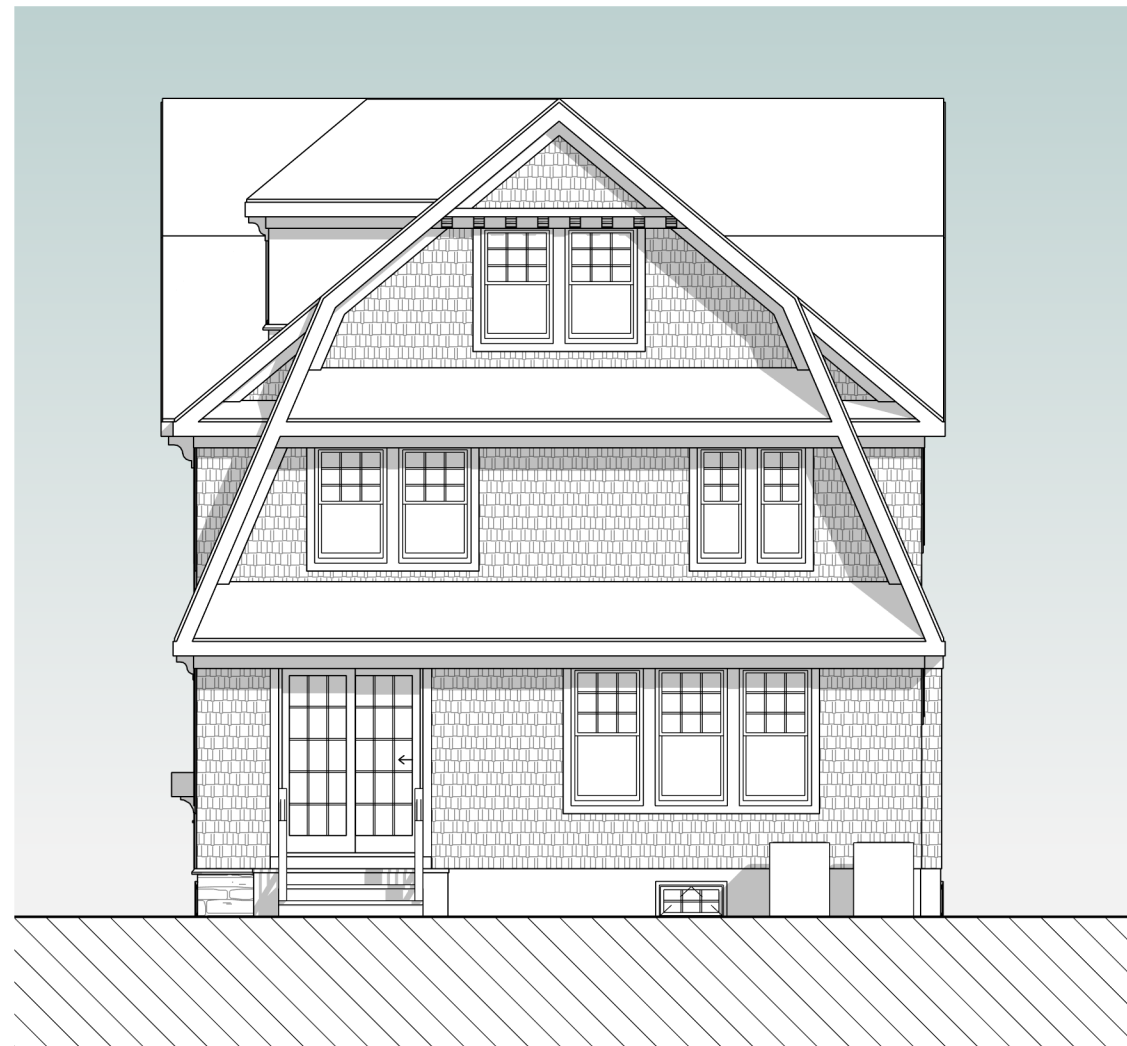
ELEVATION

C1 Scale: 1/8" = 16

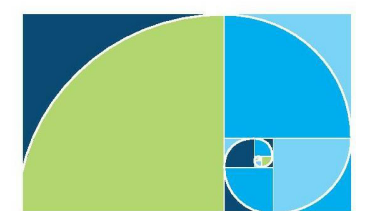


1 Front Elevation
1/8" = 1'-0"

Drawn By: PG
Checked By: PG
Date: 10/15/2021



1 Rear Elevation
1/8" = 1'-0"



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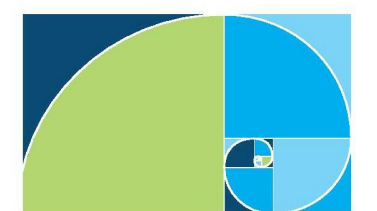
**SQUAN CUSTOM
HOMES**
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.041

ELEVATION

Drawn By:
Checked By: PG
Date: 10/15/2021



1 Right Elevation
1/8" = 1'-0"



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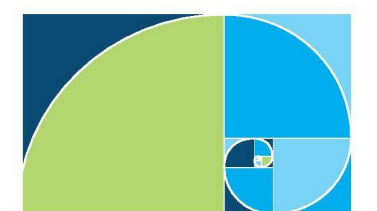
**SQUAN CUSTOM
HOMES**
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.041

ELEVATION

Drawn By:
Checked By: PG
Date: 10/15/2021



1 Left Elevation
1/8" = 1'-0"



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**SQUAN CUSTOM
HOMES**
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.041

ELEVATION

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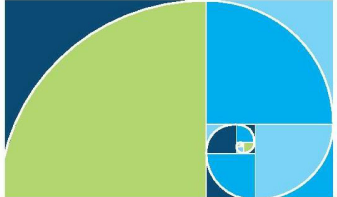


**SQUAN CUSTOM
HOMES
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.041**

RENDERINGS



Item 5.
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 Checked By: PG
 Date: 10/15/2021

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**SQUAN CUSTOM
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 SOUTH STREET
 MANASQUAN, NJ
 BLOCK 70, LOT 2.041**

RENDERINGS

D2 Scale:



Drawn By:
Checked By: PG
Date: 10/15/2021

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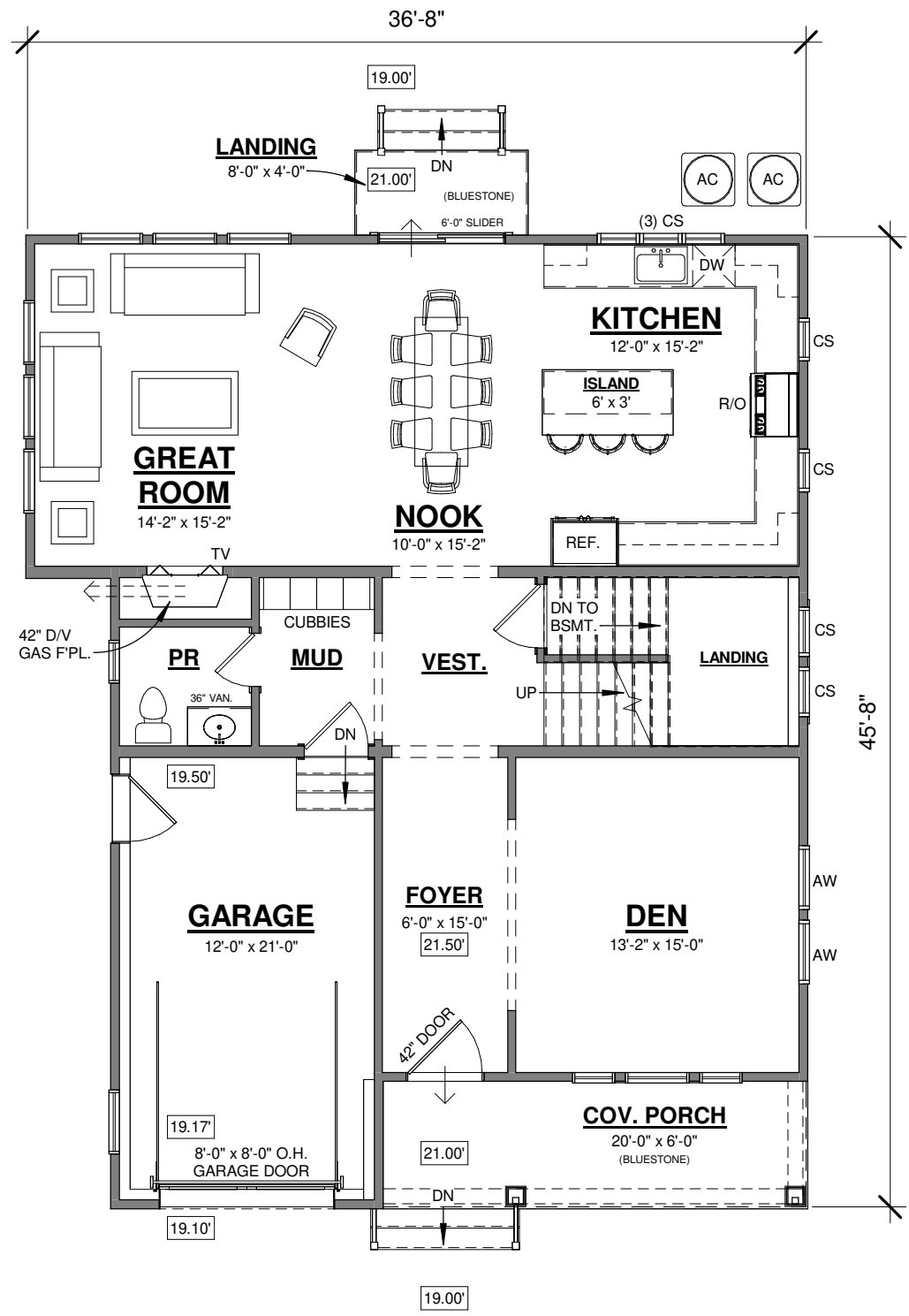
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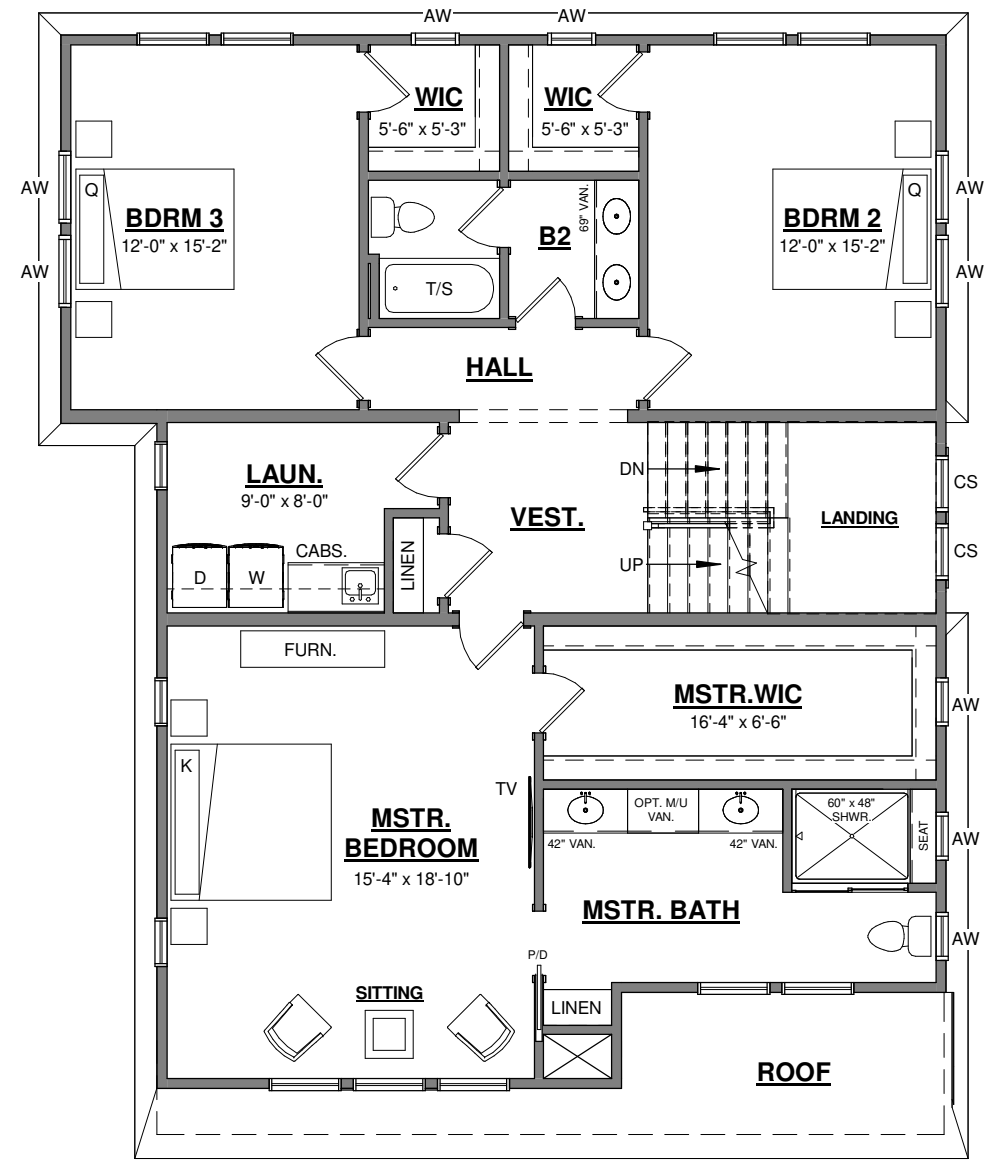
SQUAN CUSTOM HOMES
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.042

FLOOR PLANS

B1 Scale: As indic 23



1 1st Floor Plan
1/8" = 1'-0"



2 2nd Floor Plan
1/8" = 1'-0"

BUILDING PROGRAM

1st Floor - 1,172 sq. ft.
 2nd Floor - 1,338 sq. ft.
 Half-Story - 630 sq. ft.
 Total - 3,140 sq. ft.

Garage - 264 sq. ft.
 Opt. Fin. Bsmt. - 616 sq. ft.
 Building Cov. - 1,556 sq. ft.
 (MAX - 1,560 sq. ft.)

Drawn By: Item 5.
 Checked By: PG
 Date: 10/15/2021




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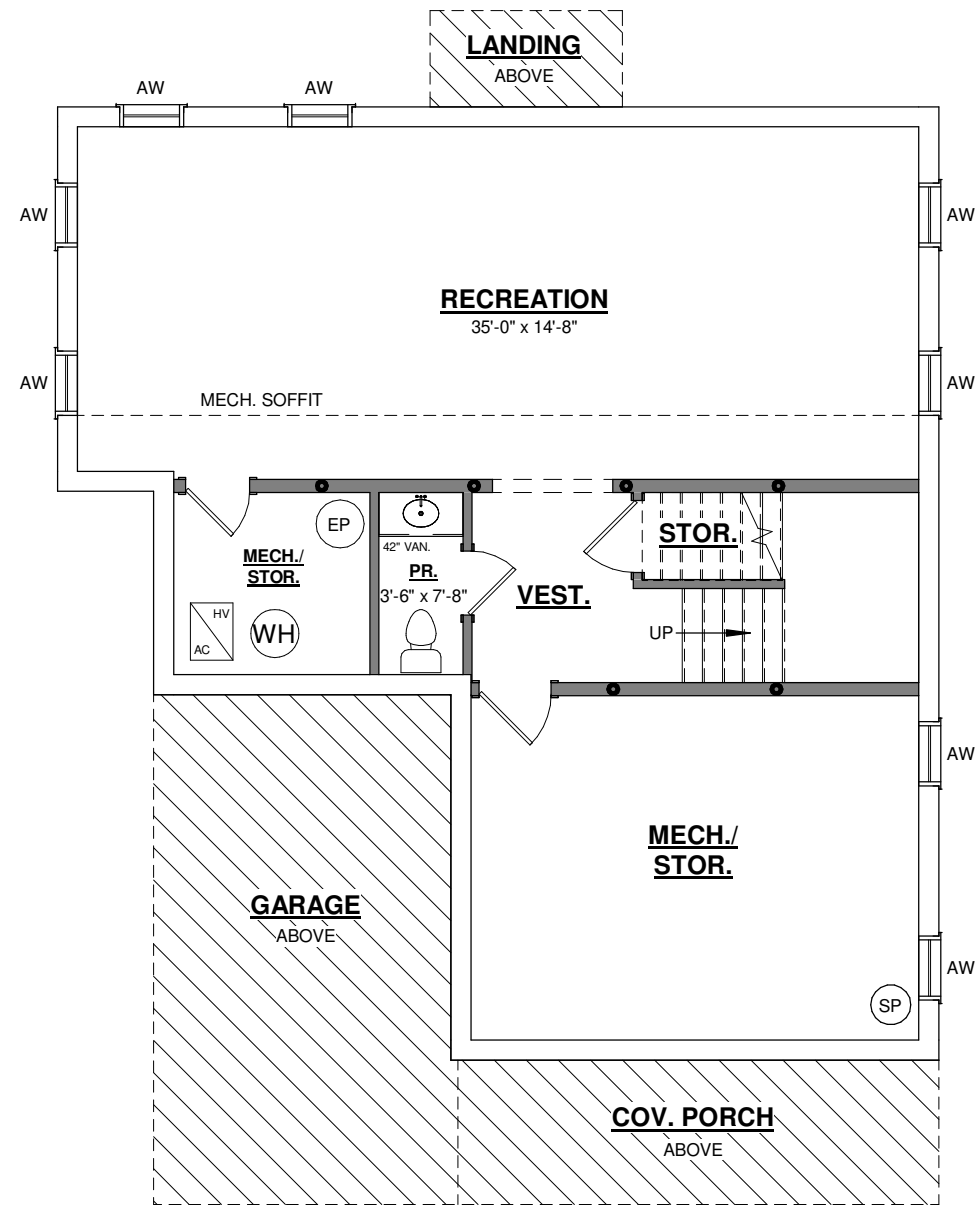
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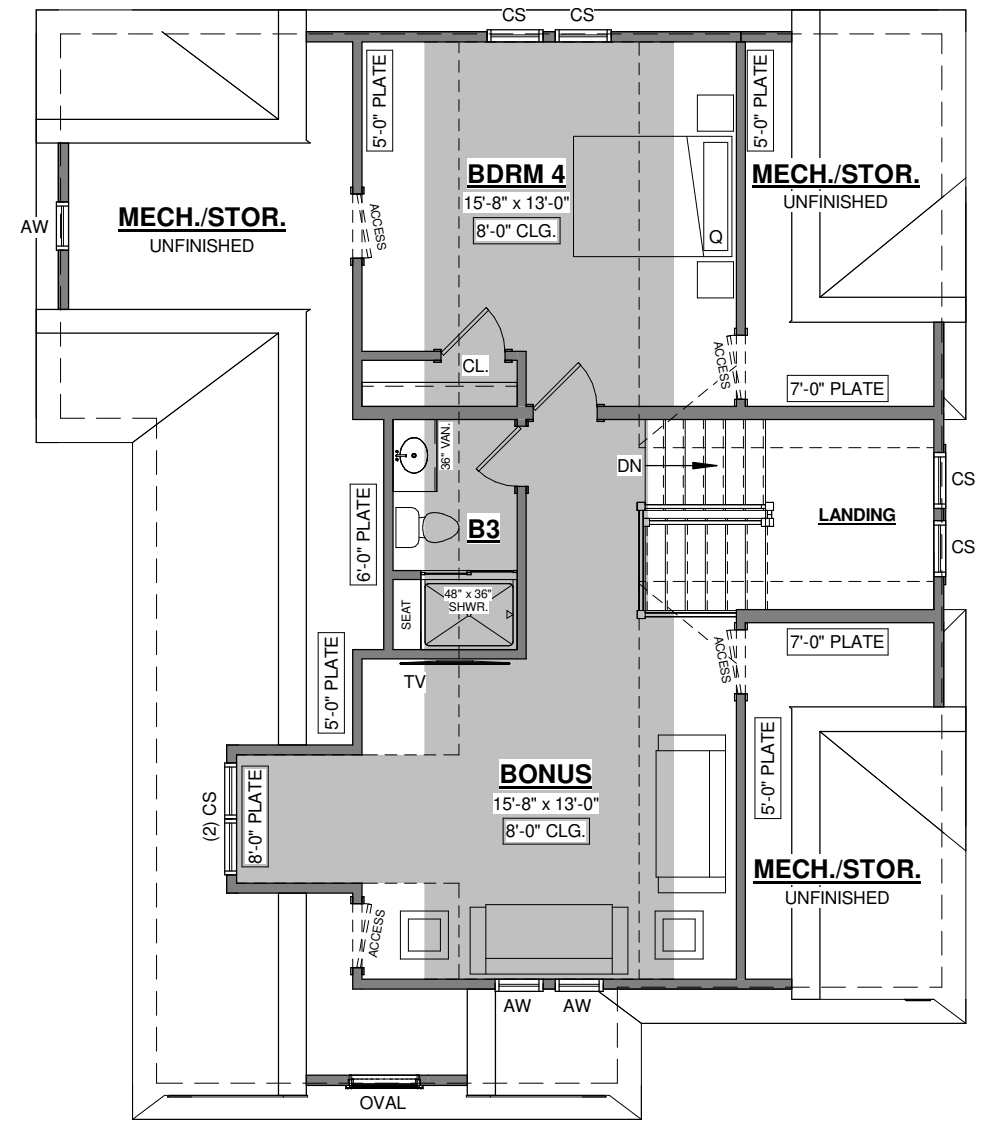
**SQUAN CUSTOM
 HOMES
 SOUTH STREET
 MANASQUAN, NJ
 BLOCK 70, LOT 2.042**

FLOOR PLANS

B2 Scale: As indic 24



② Opt. Basement Plan
 1/8" = 1'-0"



① Half-Story Plan
 1/8" = 1'-0"

HALF-STORY CALCS

2nd Floor Total - 1,338 sq. ft.
 Half-Story over 7'-0" - 438 sq. ft.
 Percentage - 32.74%
 (Under 33% meets code req.)

2nd Floor Total - 1,338 sq. ft.
 Half-Story 5'-0" & over - 630 sq. ft.
 Percentage - 47.09%
 (Under 60%, meets zoning req.)

Drawn By: PG
Checked By: PG
Date: 10/15/2021



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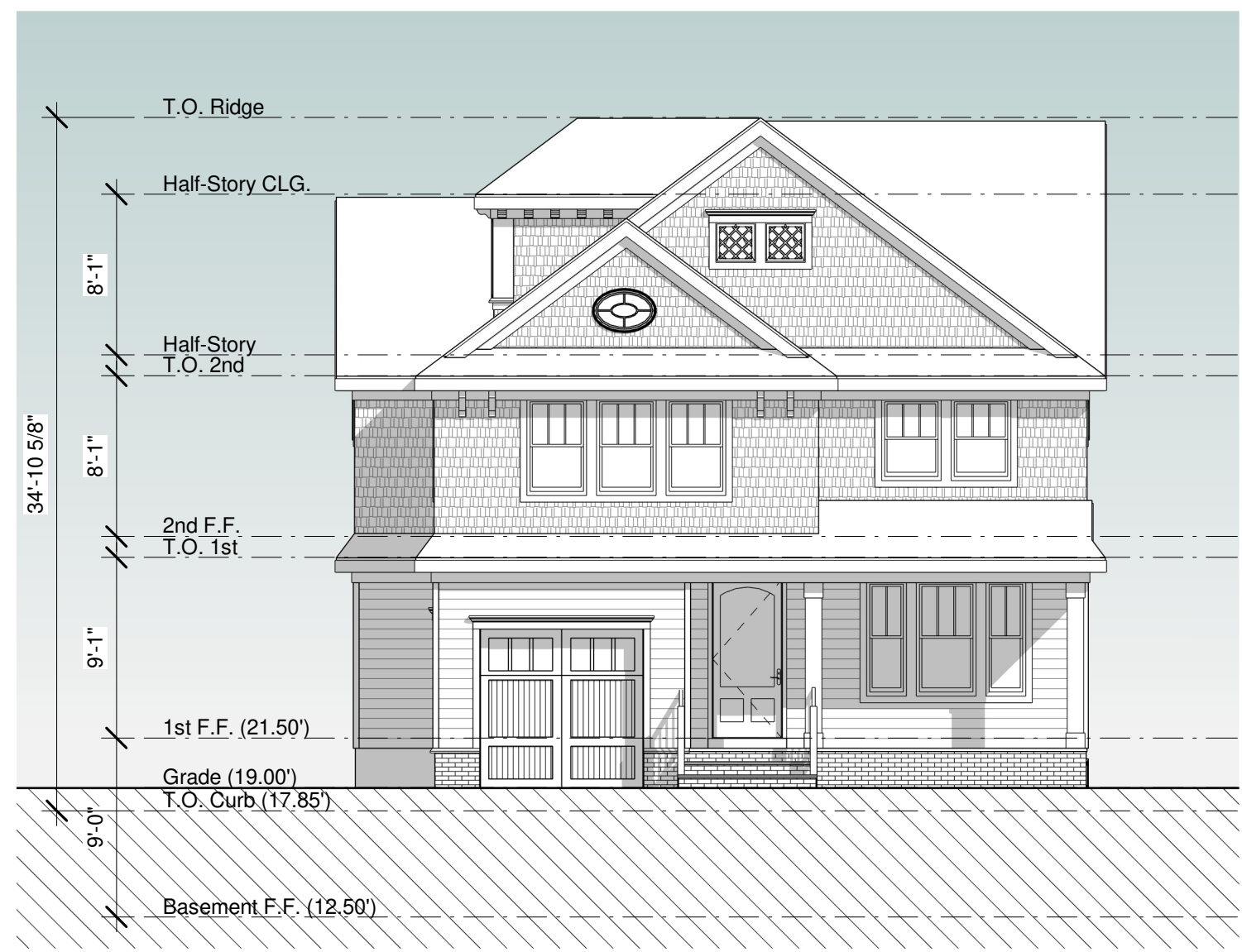
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BLOCK 70, LOT 2.042

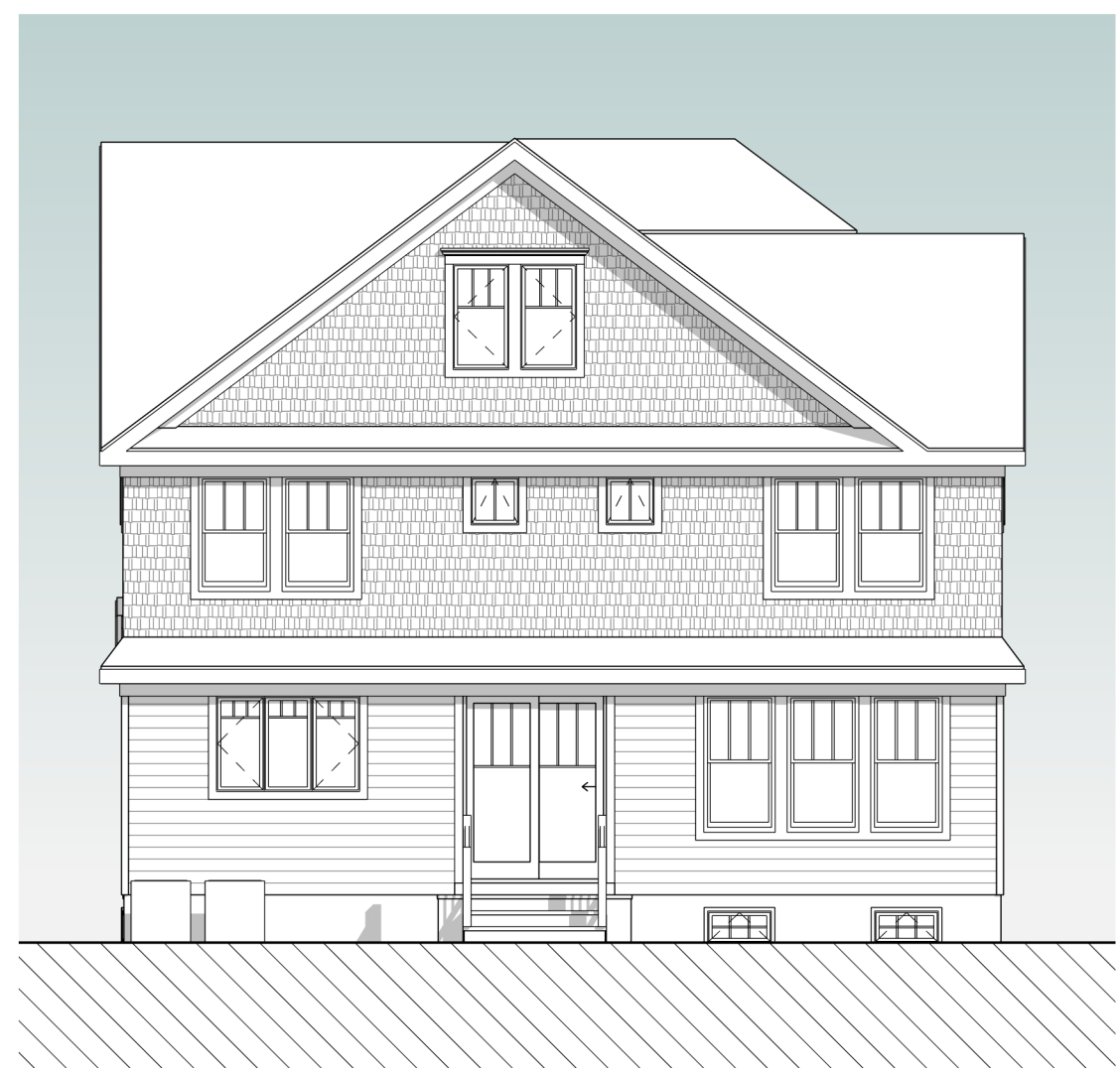
ELEVATION

C1 Scale: 1/8" = 25



① Front Elevation
1/8" = 1'-0"

Drawn By:
Checked By: PG
Date: 10/15/2021



1 Rear Elevation
1/8" = 1'-0"



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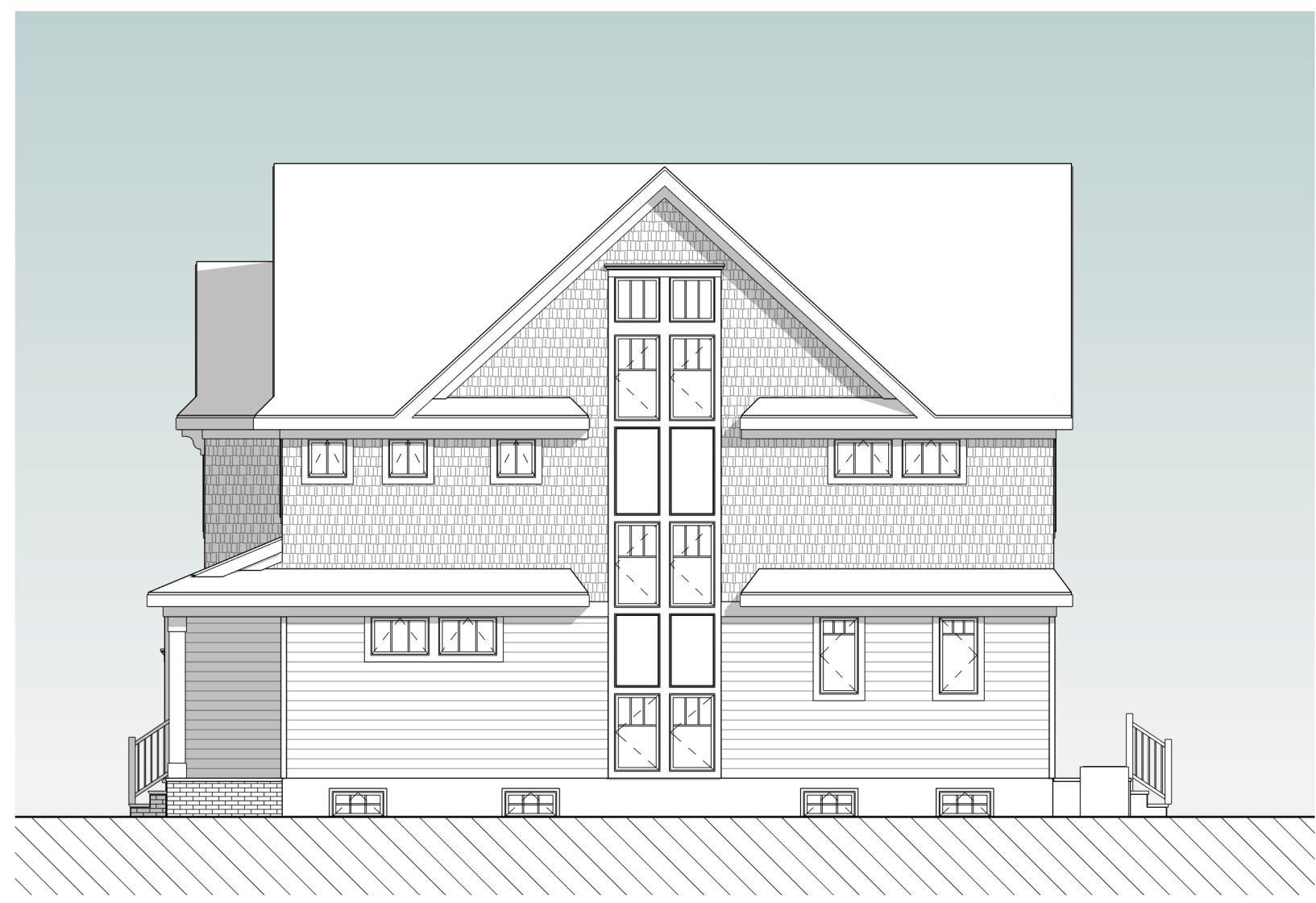
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SQUAN CUSTOM HOMES
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.042

ELEVATION

Drawn By:
Checked By: PG
Date: 10/15/2021



1 Right Elevation
1/8" = 1'-0"



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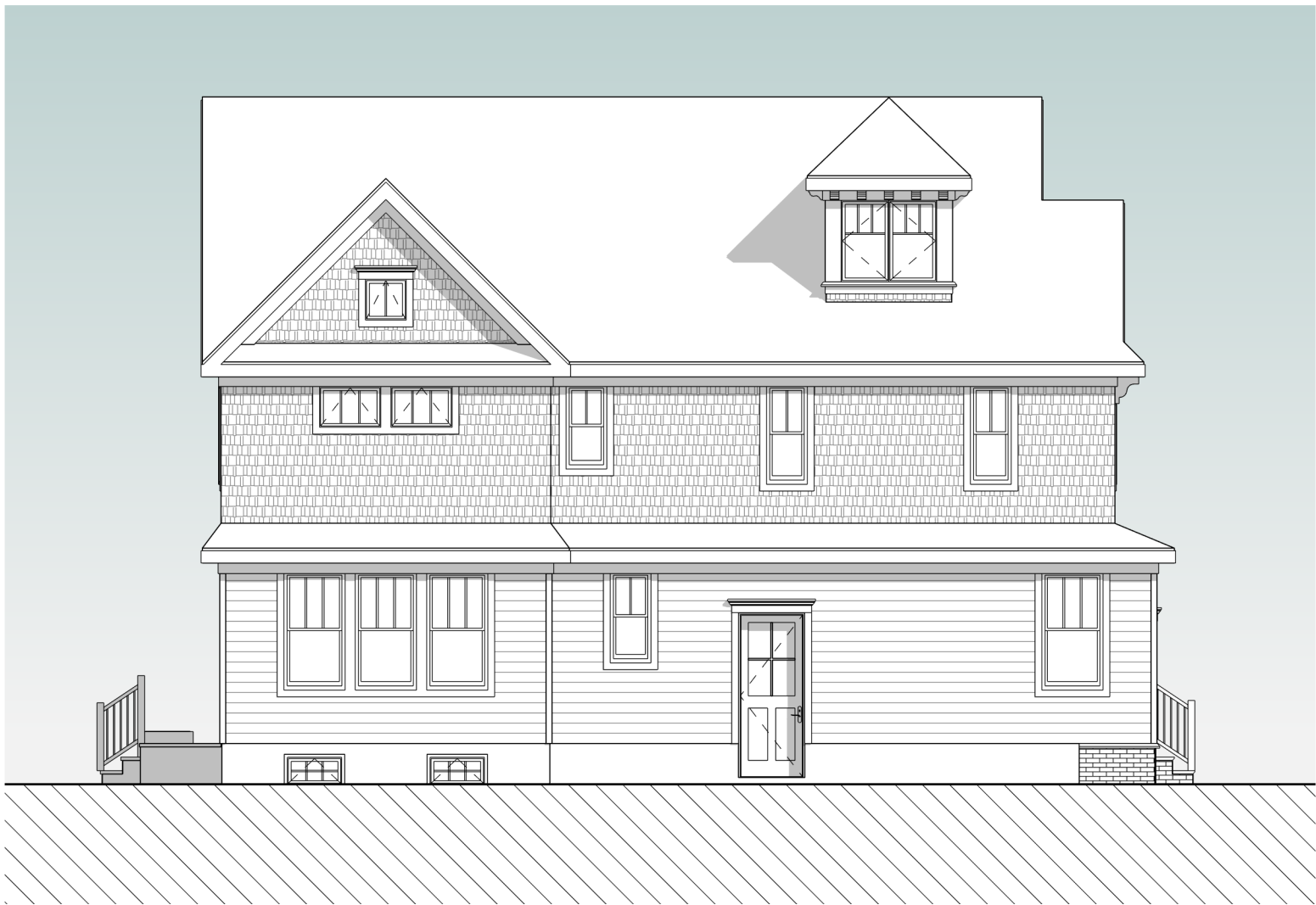
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SQUAN CUSTOM HOMES
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.042

ELEVATION

Drawn By:
Checked By: PG
Date: 10/15/2021



① Left Elevation
1/8" = 1'-0"



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**SQUAN CUSTOM
HOMES
SOUTH STREET
MANASQUAN, NJ
BLOCK 70, LOT 2.042**

ELEVATION



Drawn By: Item 5.
 Checked By: PG
 Date: 10/15/2021




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**SQUAN CUSTOM
 HOMES
 SOUTH STREET
 MANASQUAN, NJ
 BLOCK 70, LOT 2.042**

RENDERINGS

D1 Scale: 29

Drawn By: PG
Checked By: PG
Date: 10/15/2021



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**SQUAN CUSTOM
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MANASQUAN, NJ
BLOCK 70, LOT 2.042**

RENDERINGS

D2 Scale:

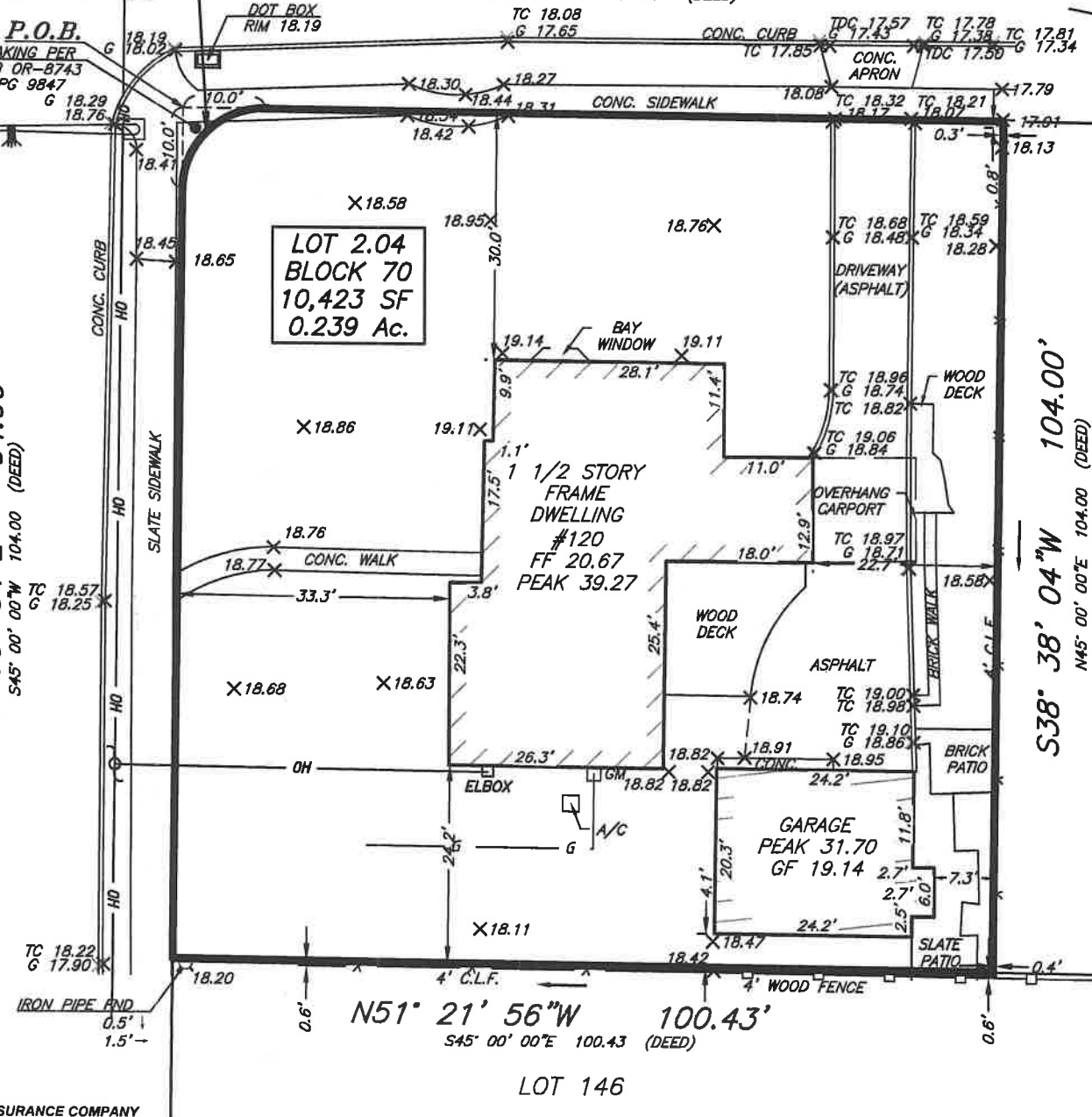
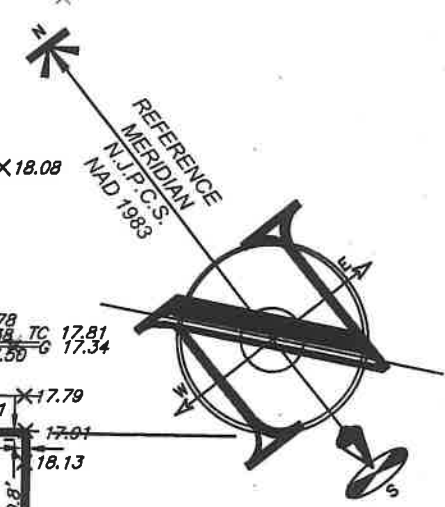
$R = 10.00'$ $L = 15.71'$
 $\Delta = 90^\circ 00' 00''$

MARCELLUS AVENUE (60' R.O.W.)
 (37' WIDE BIT. CONC.)

SOUTH STREET (45' R.O.W.)
 (A.K.A. COUNTY ROUTE 20)

$N38^\circ 38' 04'' E$ 94.00'
 $S45^\circ 00' 00'' W$ 104.00' (DEED)

$S51^\circ 21' 56'' E$ 90.43'
 $S45^\circ 00' 00'' W$ 100.43' (DEED)



CERTIFIED TO:

- SQUAN CUSTOM HOMES, LLC
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
- HENDERSON AND HENDERSON, P.C.

SURVEY NOTES:

THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003.C.14 (C45:8-36.3) AND N.J.A.C. 13:40 - 5.1(D).

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE REPORT No. TA-29457 AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS CONTAINED THEREIN.

ALL EXISTING UTILITIES ARE APPROXIMATE PER MARKOUT AND VISIBLE FIELD EVIDENCE. ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION.

THIS SURVEY HAS NOT DETERMINED THE PRESENCE OF WETLANDS AT THE SITE.

SUBJECT PROPERTY IS NOT IN A FEMA FLOOD ZONE.

SURVEY MAP REFERENCES:

A MAP ENTITLED, "INTERSECTION IMPROVEMENTS AT COUNTY ROUTE 20, SOUTH STREET, AND MARCELLUS AVENUE / LAKEWOOD ROAD IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY", BY LGA ENGINEERING INC., DATED 12-04-07.

FILED MAP REFERENCES:

A MAP ENTITLED, "MAP OF SEA VIEW PROPERTY, 158, BUILDING LOTS, THE N.W. MORRIS PROPERTY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY," FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE, DATED MAY 1, 1876 AS CASE NO. 30 SHEET NO. 22.

DEED REFERENCES:

- DB 5105 PG 0505
- DB 8743 PG 9847
- DB OR-8743 PG 9847

ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88).

BOUNDARY TOPOGRAPHIC & UTILITY SURVEY

InSite Surveying, LLC
 CERTIFICATE OF AUTHORIZATION:
 24GA28290100
 1955 ROUTE 34, SUITE 1A
 WALL, NJ 07719
 732-531-7100 (Ph) 732-531-7344 (Fax)
 InSite@InSiteSurveying.net
 www.InSiteSurveying.net

Site Location:
 120 SOUTH STREET
 LOT 2.04, BLOCK 70
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

Justin J. Hedges
JUSTIN J. HEDGES
 PROFESSIONAL LAND SURVEYOR NJ LIC. NO. GS43362

InSite Project No.
 21-S705-03
Drawing No.
 21-S705
Date
 07/27/21
Scale
 1" = 20'
Drawn By:
 GS / BMW
Checked By:
 JS
Revisions
 8/10/21 - BMW - CERTS

LAW OFFICES
HENDERSON AND HENDERSON PC
 A PROFESSIONAL CORPORATION

52 ABE VOORHEES DRIVE
 P.O. BOX 260
 MANASQUAN, N.J. 08736
 (732) 223-0800
 FAX# (732) 223-3487

C. KEITH HENDERSON
 MICHAEL D. HENDERSON, PARTNER

HAYDN PROCTOR
 (1903-1996)
 SOLOMON LAUTMAN
 (1901-1994)

March 25, 2022

VIA HAND DELIVERY

Borough of Manasquan
 Attn: Barbara Ilaria, Planning Board Secretary
 201 E Main Street
 Manasquan, New Jersey 08736

Re: Landowner/Applicant: Manasquan Holdings, LLC
 Property: Block 90, Lot 12
 N.J.S.H. Route 71 and Main Street
 Zone: BR-1

Dear Barbara,

Please be advised that we represent Manasquan Holdings, LLC, the Landowner and Applicant in connection with the above captioned matter. The Applicant has been granted an Informal appearance before the Manasquan Planning Board at its regularly scheduled meeting on April 5th, 2022.

The above captioned site is managed by Levin Management Corporation, who has entered into a Lease with CVS Pharmacy as a new tenant for the site. Applicant is proposing to renovate the existing Acme Food Market on the site to accommodate the CVS Pharmacy.

The Applicant's proposed renovations are shown on the Plans prepared by Dynamic Engineering, together with proposed exterior façade renderings provided by CVS, which are being submitted with this cover letter. The Applicant will present testimony from representatives of CVS to discuss CVS operational aspects and the type of product line that is anticipated for this "shore/beach community" store, together with testimony from the Applicant's professionals.

1

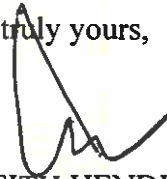
We are hand-delivering packets of the following documents which will be used in our presentation before the Board:

1. Site Plan: (2 full-sized copies and 10 reduced copies);
2. Proposed Elevations Plan: (2 full-sized copies and 10 reduced copies);
3. 2- Proposed Exterior Façade Renderings: (2 full-sized copies and 10 reduced copies);
4. Signage Details Plan: (2 full-sized copies and 10 reduced copies); and
5. Landscape Site Plan: (2 full-sized copies and 10 reduced copies)

We will also provide PDF versions of all foregoing documents to the Board by email.

Should you have questions, or require anything further from us at this time, kindly contact our office.

Very truly yours,



C. KEITH HENDERSON
For the Firm

CKH/kb

Enclosures

cc: Manasquan Holdings, LLC
Levin Management Corporation
Dynamic Engineering

SIGNAGE TABLE

Table with columns: SIGN, REQUIREMENTS, PROPOSED. Lists sign types like 'PRESTANDING/MONUMENT', 'BUILDING MOUNTED', 'DRIVE-THRU PHARMACY', etc., with associated area and height requirements.

- Notes regarding signage placement and standards, including references to §§ 35-5.18.3, 35-25.2.5.1, etc.

GENERAL NOTES

- Notes regarding boundary and topographic survey, applicant information, zone requirements, and parking calculations.

Table for Zoning Requirements (BR-1) comparing existing vs. proposed regulations for lot area, setbacks, height, etc.

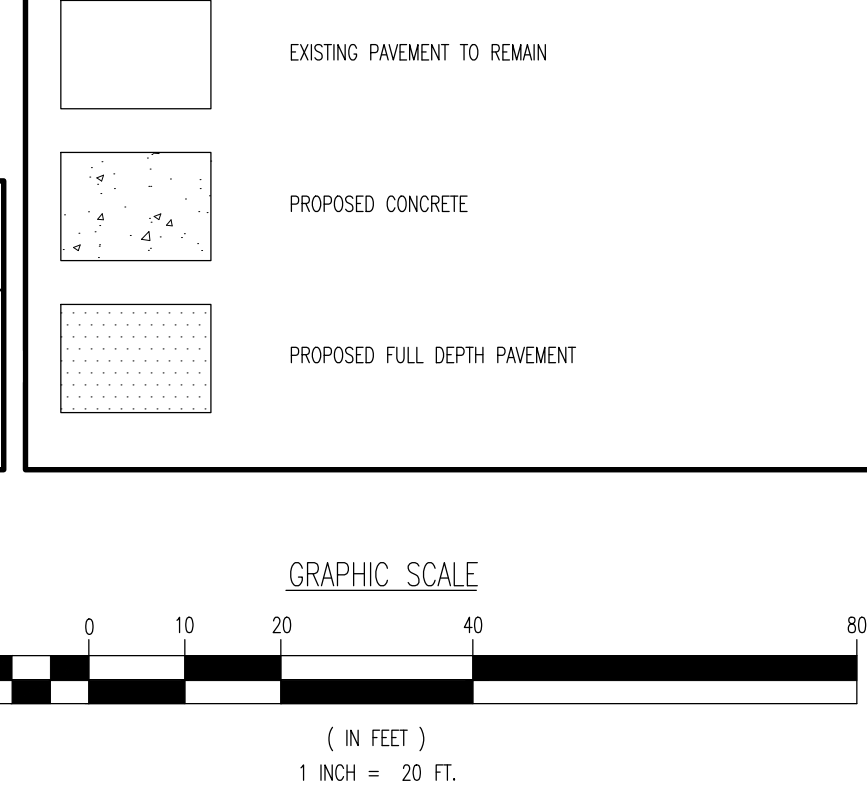
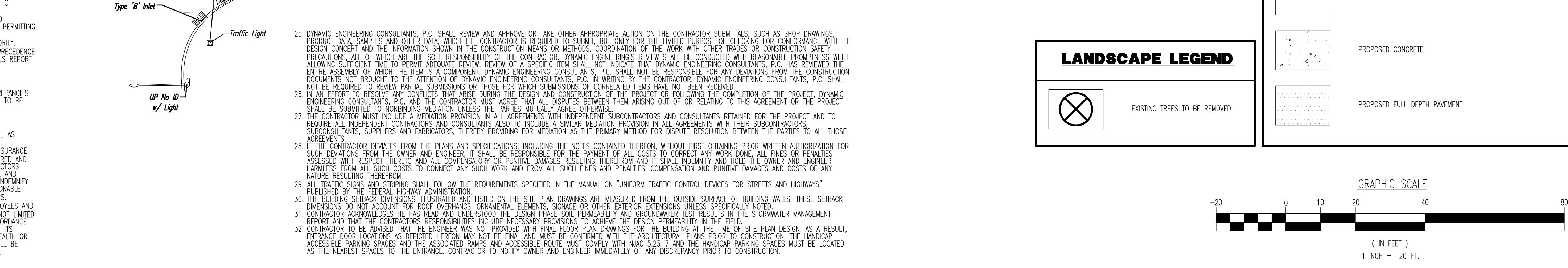
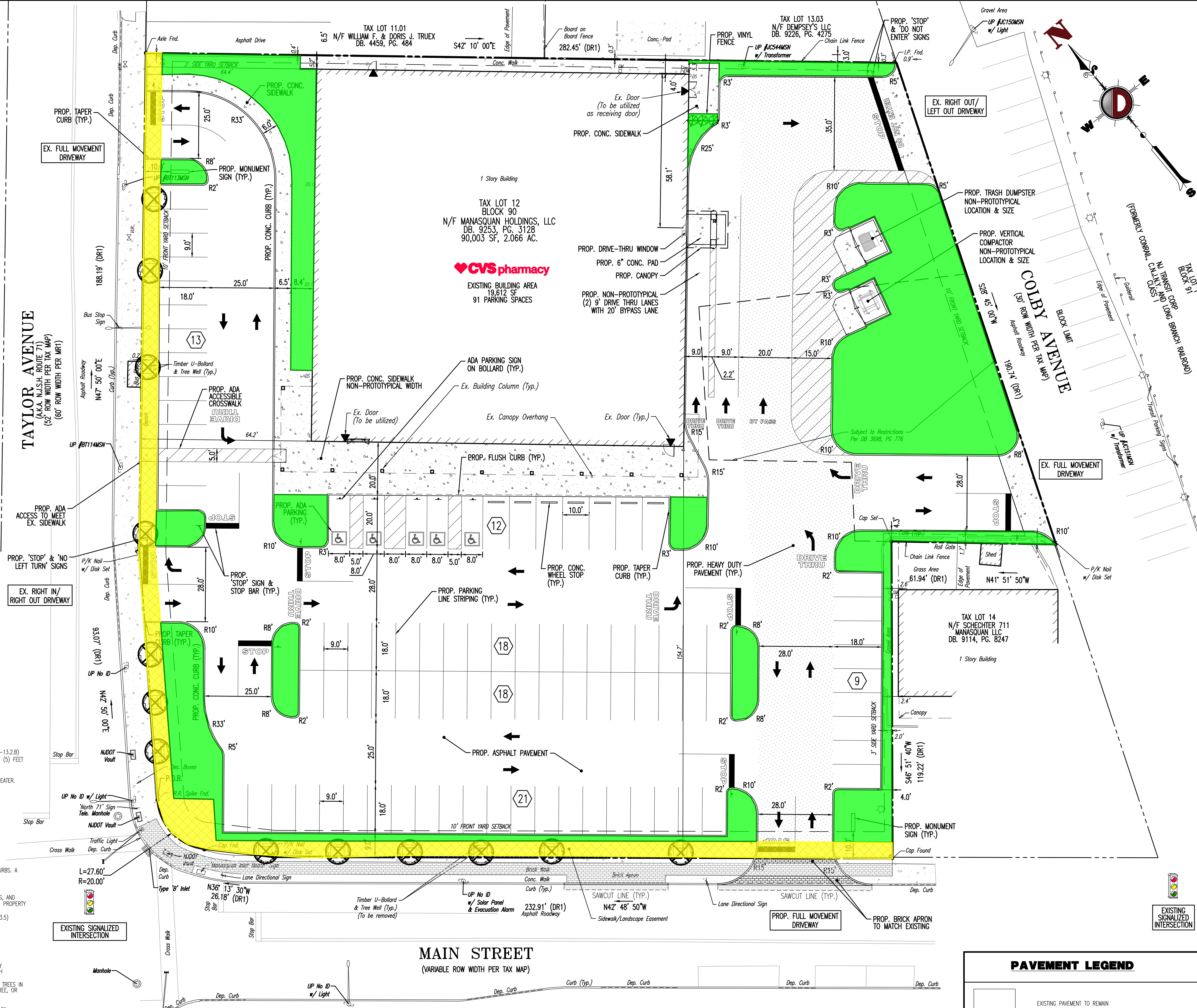
- Notes regarding parking requirements, including minimum width and length for spaces, and loading requirements.

Tables for Loading Requirements and Drive/Driveway Requirements, detailing space calculations and standards.

- Notes regarding landscape and buffer requirements, including set-back screening and landscaping standards.

- Notes regarding the applicant's responsibility for submission, permit requirements, and construction standards.

- Notes regarding professional liability, contractor obligations, and the role of Dynamic Engineering Consultants, P.C.



CVS pharmacy logo and address information: 19,612 S.F. BUILDING CONVERSION STORE NUMBER.

DYNAMIC ENGINEERING logo and contact information for various regional offices.

DOUGLAS GRYSKO and JOSEPH JAWORSKI professional engineer licenses and project contact information.

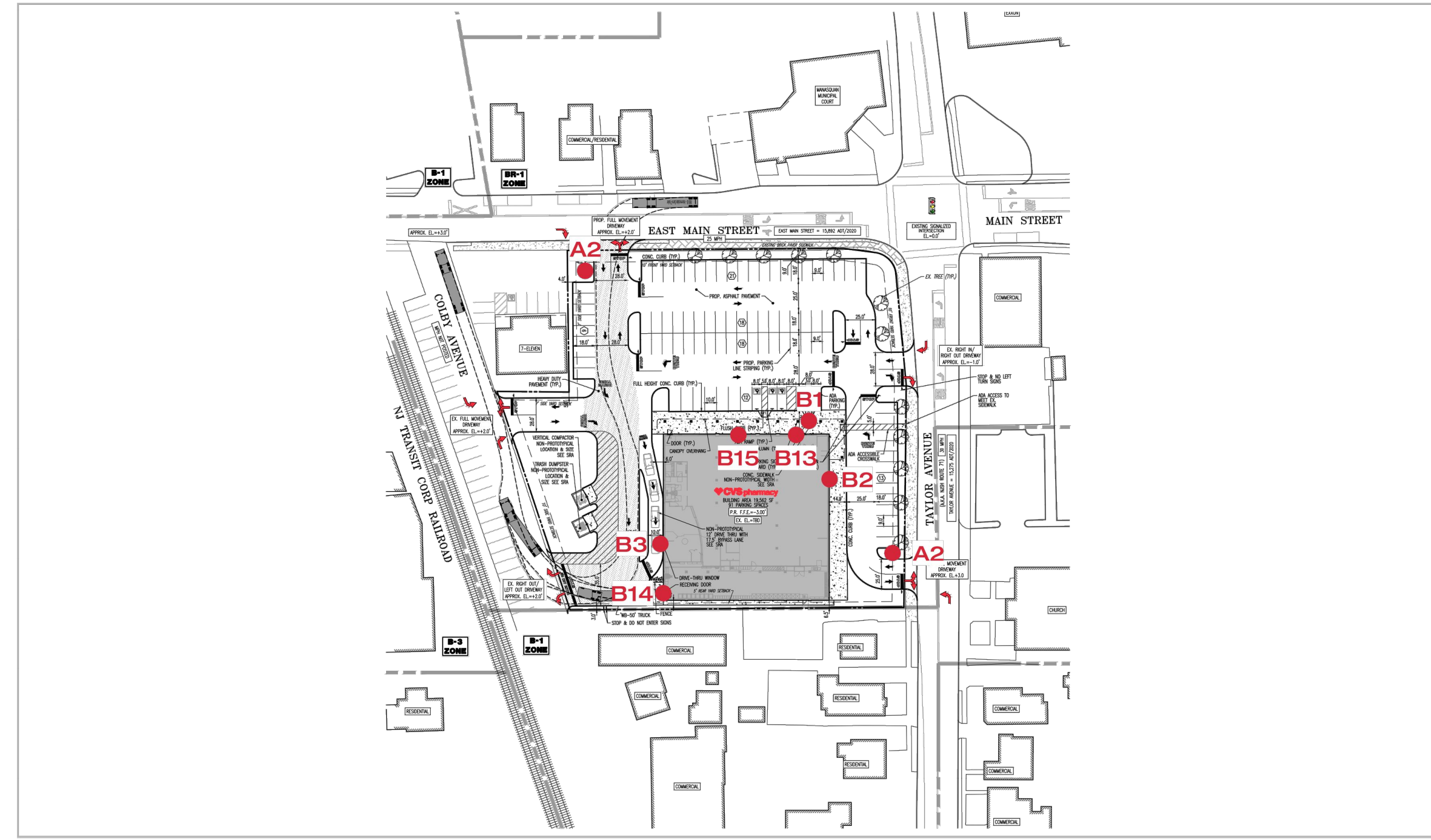
MANASQUAN HOLDINGS, LLC project contact information and developer details.

Revision table with columns: Rev. No., Date, Comments, By.

Site plan information block including scale, title 'SITE PLAN', sheet number '4', and date '03/17/2021'.

Vertical text along the left margin: Project: 03/17/21 - 1025 AM - Br. Veličković; File: P:\DCPC PROJECTS\063 Levn...; Path: Manasquan\Draw\Site Plans\063\063.dwg; User: 04 SITE PLAN

Sign Placement - Site Plan



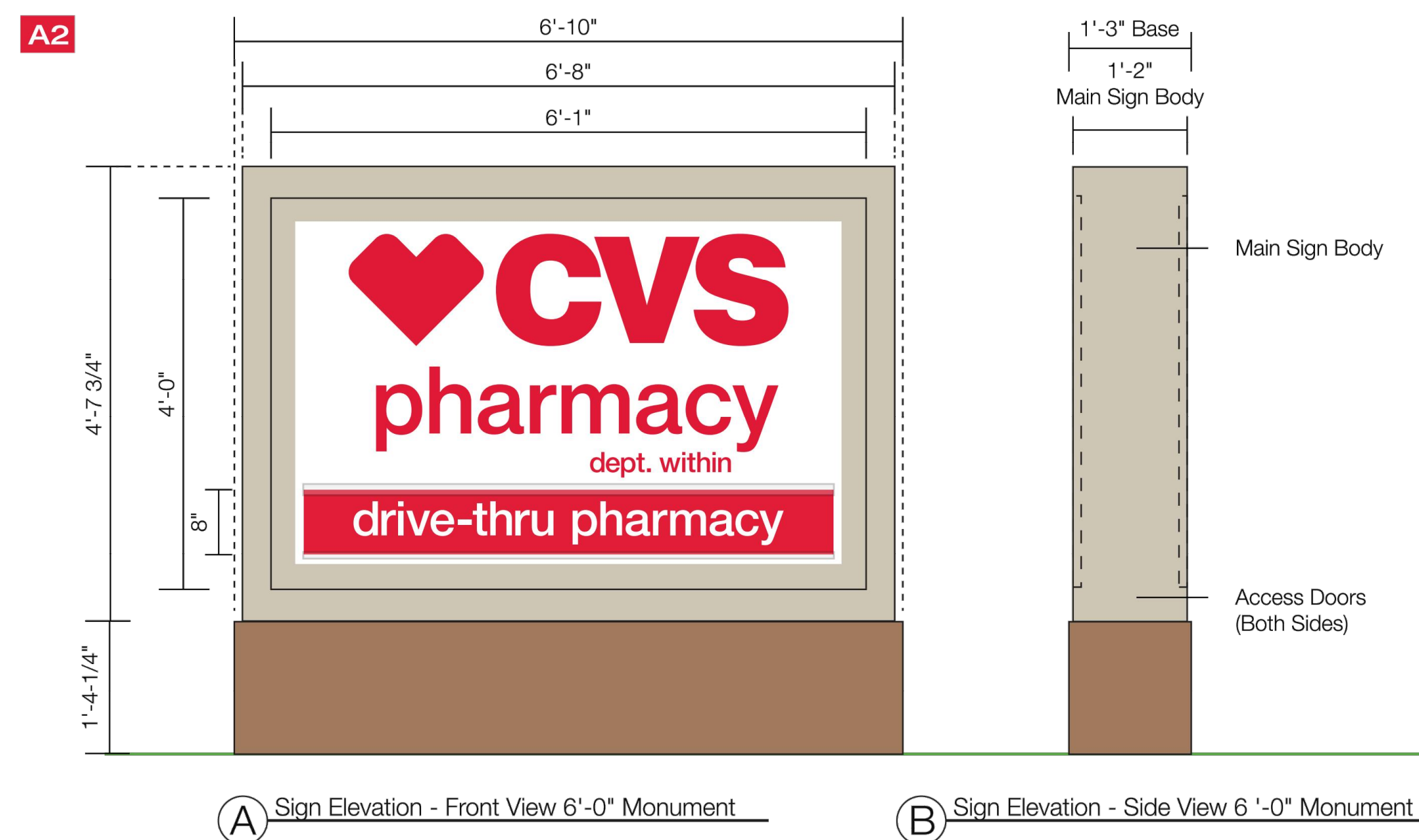
Sign Placement - Sign Key

Right Elevation			
B3	drive-thru pharmacy	1'-8-1/2"H x 10'-4"W	17.65 SqFt
B3	drive-thru pharmacy	1'-8-1/2"H x 10'-4"W	17.65 SqFt
B14	receiving entrance	1'-6"H x 2'-0"W	3.0 SqFt
Total Proposed			19.0 SqFt

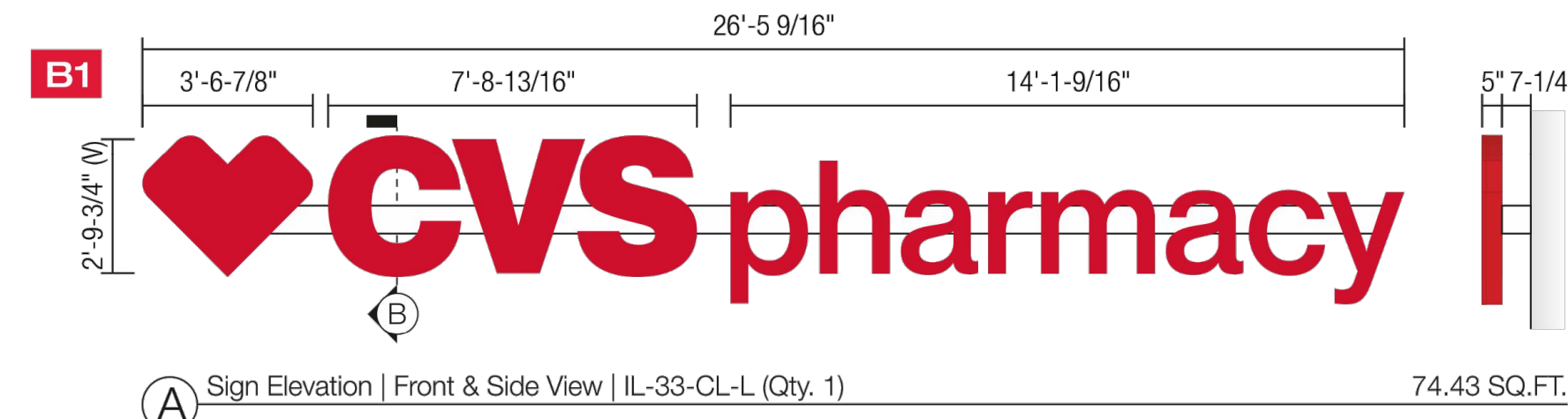
Left Elevation			
B2	CVS pharmacy	2'-9"H x 26'-5-9/16"W	74.43 SqFt
Total Proposed			74.43 SqFt

Front Elevation			
B1	CVS pharmacy	2'-9"H x 26'-5-9/16"W	74.43 SqFt
B13	CVS pharmacy	1'-6-9/16"H x 1'-2-1/2"W	1.87 SqFt
B15	Heroic Heart	7'-6"H x 9'-0-3/8"W	67.7 SqFt
Total Proposed			144.0 SqFt

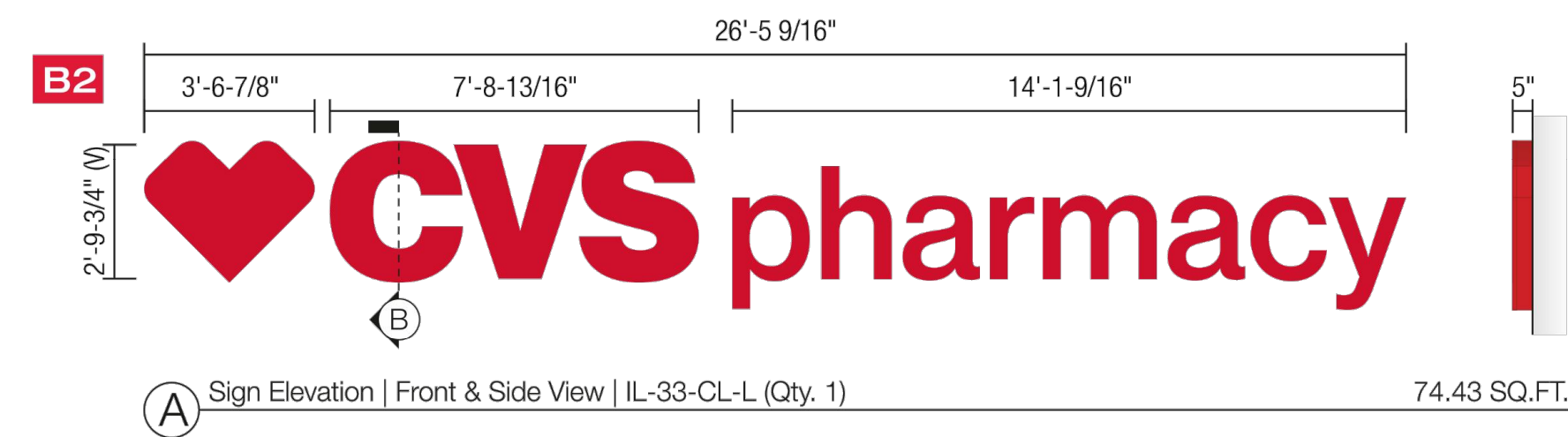
Proposed Signage - Monument Details



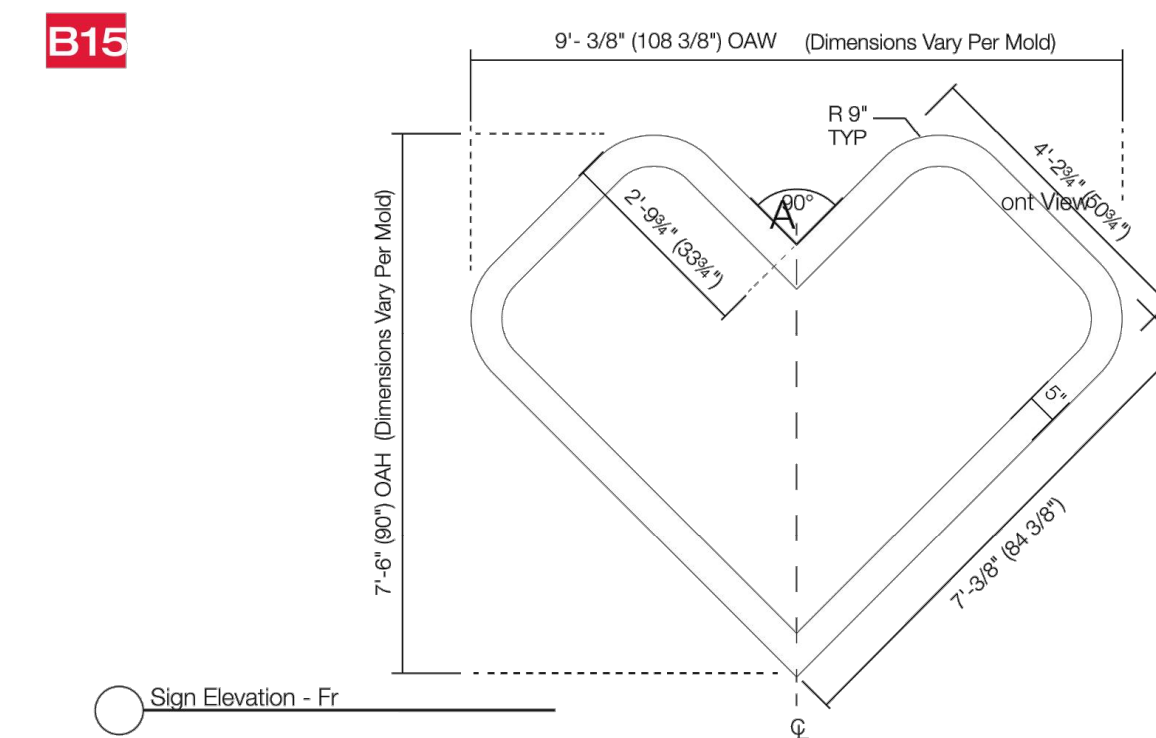
Proposed Signage - Channel Letter Details



Proposed Signage - Channel Letter Details



Proposed Signage - Heroic Heart Details



Proposed Signage - Drive Thru Canopy Details



Plotted: 01/22/21 - 3:16 PM, By: Sheela
File: P:\DEPC PROJECTS\0863 Levin Management Corp\99-009 Monaquan\Dev\Site Plans\086399009500.dwg, ----> 13 CVS SIGNAGE DETAILS



19,609 S.F. BUILDING CONVERSION STORE NUMBER:

N.J.S.H. ROUTE 71 & MAIN STREET
BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

PROJECT TYPE: AS IS
DEAL TYPE: FT-EX BLDG LEASE

CS PROJECT NUMBER: 107542

DYNAMIC ENGINEERING

Central NJ Office: 707 West Street, Lakewood, NJ 08719, F: 732.974.3501

North NJ Office: 245 Main Street - Suite 110, Freehold, NJ 07728, F: 908.879.0222

South NJ Office: 8 Robert Street, Freehold, NJ 08723, F: 732.974.4188

PA Office: 770 Newmarket Street, Suite 425, Newmarket, PA 15840, F: 724.485.0274

Dallas Texas Office: 1301 Central Expressway, Suite 210, Irving, TX 75038, F: 972.254.2100

Houston Texas Office: 10401 Katy Road, Suite 200, Houston, TX 77025, F: 281.999.4400

Austin Texas Office: 4700 Mokoff Expressway, Austin, TX 78746, F: 512.644.2444

Texas Registered Engineering Firm No. E-13340

DOUGLAS GRYSKO

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 35996

JOSEPH JAWORSKI

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 36518
PENNSYLVANIA LICENSE NO. 47943
NEW YORK LICENSE NO. 072307
MASSACHUSETTS LICENSE NO. 46830
SQUARE LICENSE NO. 16468
TEXAS LICENSE NO. 120486

DEVELOPER:
LEVIN MANAGEMENT CORP
975 U.S. HIGHWAY 22 WEST
NORTH PLAINFIELD, NJ 07060
TELE: (908) 755-2401

PROJECT CONTACT: MAX GAGNERON

Rev.	Date	Comments	By

SCALE: (H) AS SHOWN
(V) SHOWN

DRAWN BY: KJH

DESIGNED BY:

CHECKED BY:

DATE: 1/20/2021

JOB No: 0863-99-009

TITLE: **CVS SIGNAGE DETAILS**

SHEET No: **13** OF 14

COMMENTS:
THIS PLAN IS FOR APPROVAL PROCESS ONLY AND MAY NOT BE USED FOR CONSTRUCTION

Rev. # 0



RELO
STORE NUMBER: 1240
71 TAYLOR AVENUE
MANASQUAN, NJ 08736

CS PROJECT NUMBER: 144307

ARCHITECT OF RECORD



NEVES ARCHITECTURE
& DESIGN, LLC
405 KEARNY AVE., SUITE #2
KEARNY, NEW JERSEY 07032
TEL 201.246.7979 - FAX 201.246.0235
WEBSITE: NEVESARCHITECTURE.COM

NJ LIC# 15042 CT LIC# 11657
NY LIC# 029951

CONSULTANT:

DEVELOPER:

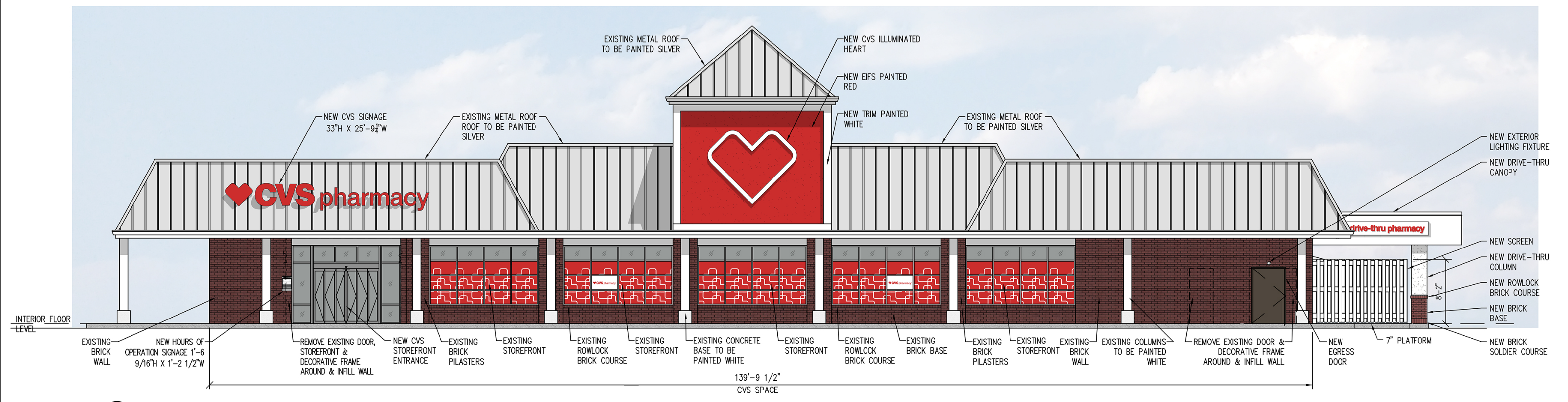
SEAL:

REVISIONS:

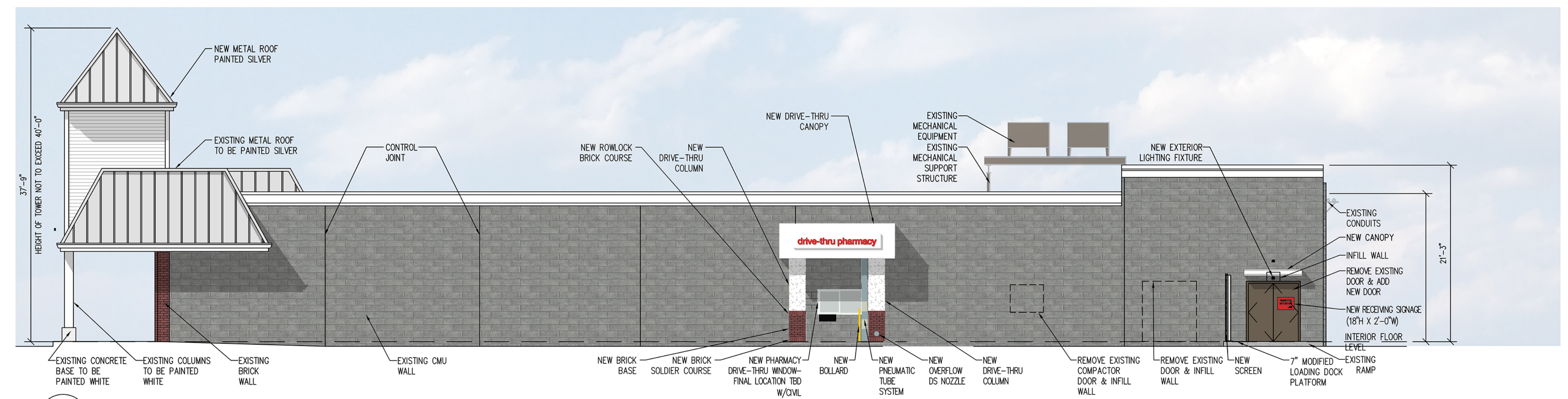
DRAWING BY: G.P.
DATE: 01/22/2021
JOB NUMBER: 20-CVS-G
TITLE: PROPOSED ELEVATIONS

SHEET NUMBER:

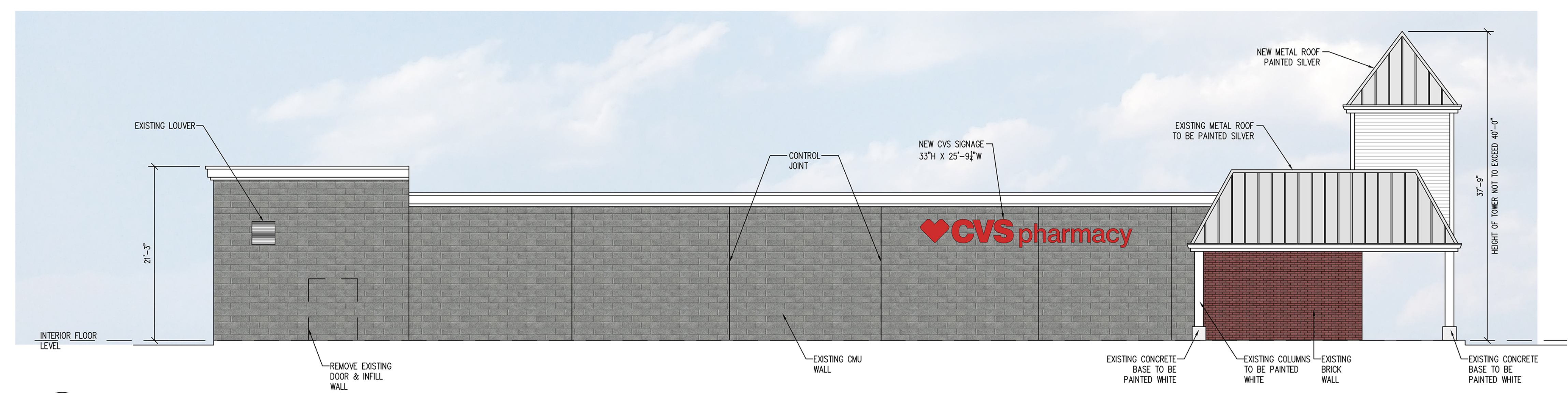
PEL-1



1 PROPOSED FRONTAL ELEVATION (E MAIN STREET)
SCALE: 1/8" = 1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3 PROPOSED SIDE ELEVATION
SCALE: 1/8" = 1'-0"



CVS/PHARMACY
71 TAYLOR AVENUE, MANASQUAN, NJ 08736



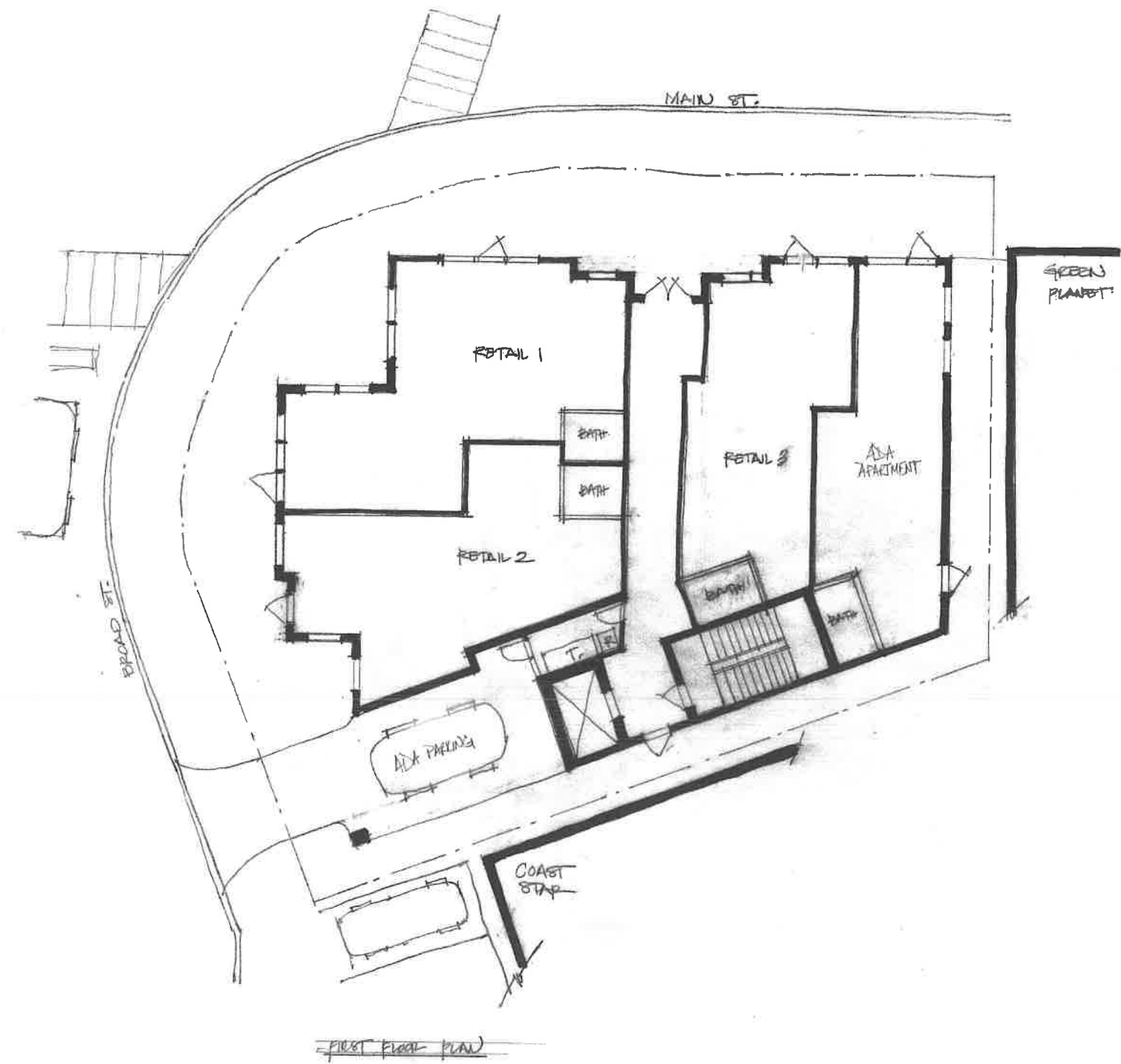
CVS/PHARMACY

71 TAYLOR AVENUE, MANASQUAN, NJ 08736



86 MAIN STREET
MIXED USE
MANASQUAN NEW JERSEY 08736

M^CHUGH
ARCHITECTURE



BRENDAN T. MCHUGH
NJ LICENSE NO. 18461

BRENDAN T. MCHUGH
ARCHITECTURE
105 UNION AVENUE
MANASQUAN, NJ 08736
TEL: 732/271-7737
BTM@BTMCHUGHARCHITECTURE.COM
WWW.BTMCHUGHARCHITECTURE.COM

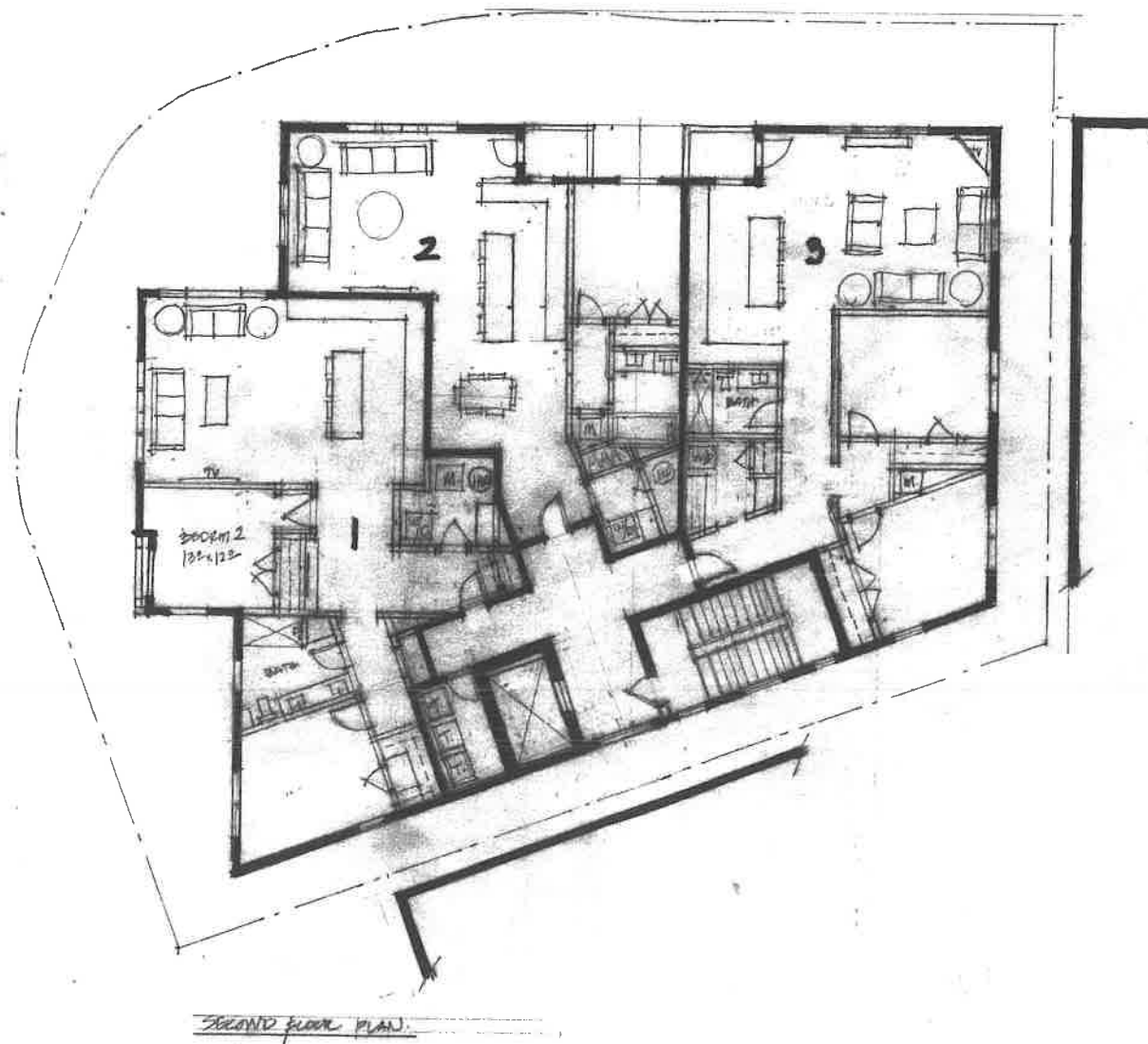
NEW MIXED USE BUILDING
86 MAIN STREET
MANASQUAN, NEW JERSEY 08736

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DRAWN BY: LMC
REVIEWED BY: BTM

REVISIONS

SHEET TITLE
SCALE: SHEET NUMBER:
DATE: 10/22/21
PROJECT NUMBER: 2211
SHEET 1 OF 1
A-1



SECOND FLOOR PLAN

BRENDAN T. MCHUGH
NJ LICENSE NO: 16404

BRENDAN T. MCHUGH
ARCHITECTURE
106 LINCOLN AVENUE
MANASQUAN NJ 08736
TEL: 732.722.7737
BTM@MCHUGHARCHITECTURE.COM
WWW.MCHUGHARCHITECTURE.COM

NEW MIXED USE BUILDING
86 MAIN STREET
MANASQUAN, NEW JERSEY 08736

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DRAWN BY: LAC
REVIEWED BY: BTM

REVISIONS

SHEET TITLE	
SCALE	SHEET NUMBER
DATE DATE	A-2
PROJECT NUMBER	
SHEET 1 OF	

BRENDAN T. MCHUGH
N.J. LICENSE NO: 16404

BRENDAN T. MCHUGH
ARCHITECTURE
106 UNION AVENUE
MANASQUAN, NJ 08736
TEL: 732.722.7177
BTM@MCHUGHARCHITECTURE.COM
WWW.MCHUGHARCHITECTURE.COM

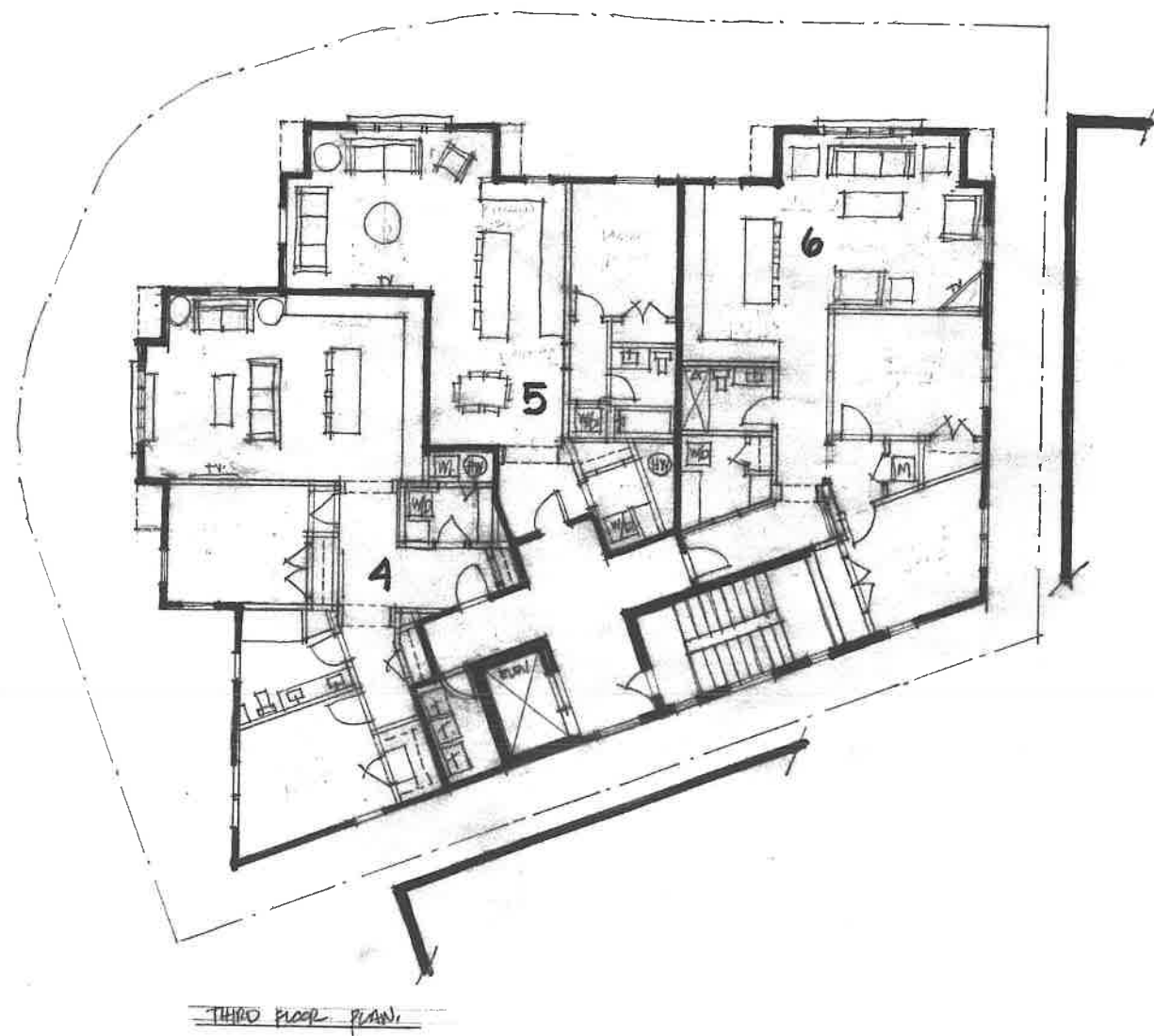
NEW MIXED USE BUILDING
86 MAIN STREET
MANASQUAN, NEW JERSEY 08736

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DRAWN BY: LAC
REVIEWED BY: BTM

REVISIONS

SHEET TITLE
SCALE: SHEET NUMBER
DATE: 1/3/22
PROJECT NUMBER: 2201
A-3
SHEET 1 OF



BRENDAN T. MCHUGH
NJ LICENSE NO. 86404

BRENDAN T. MCHUGH
ARCHITECTURE
106 UNION AVENUE
MANASQUAN, NJ 08736
TEL: 732.727.7737
BTM@MCHUGHARCHITECTURE.COM
WWW.MCHUGHARCHITECTURE.COM

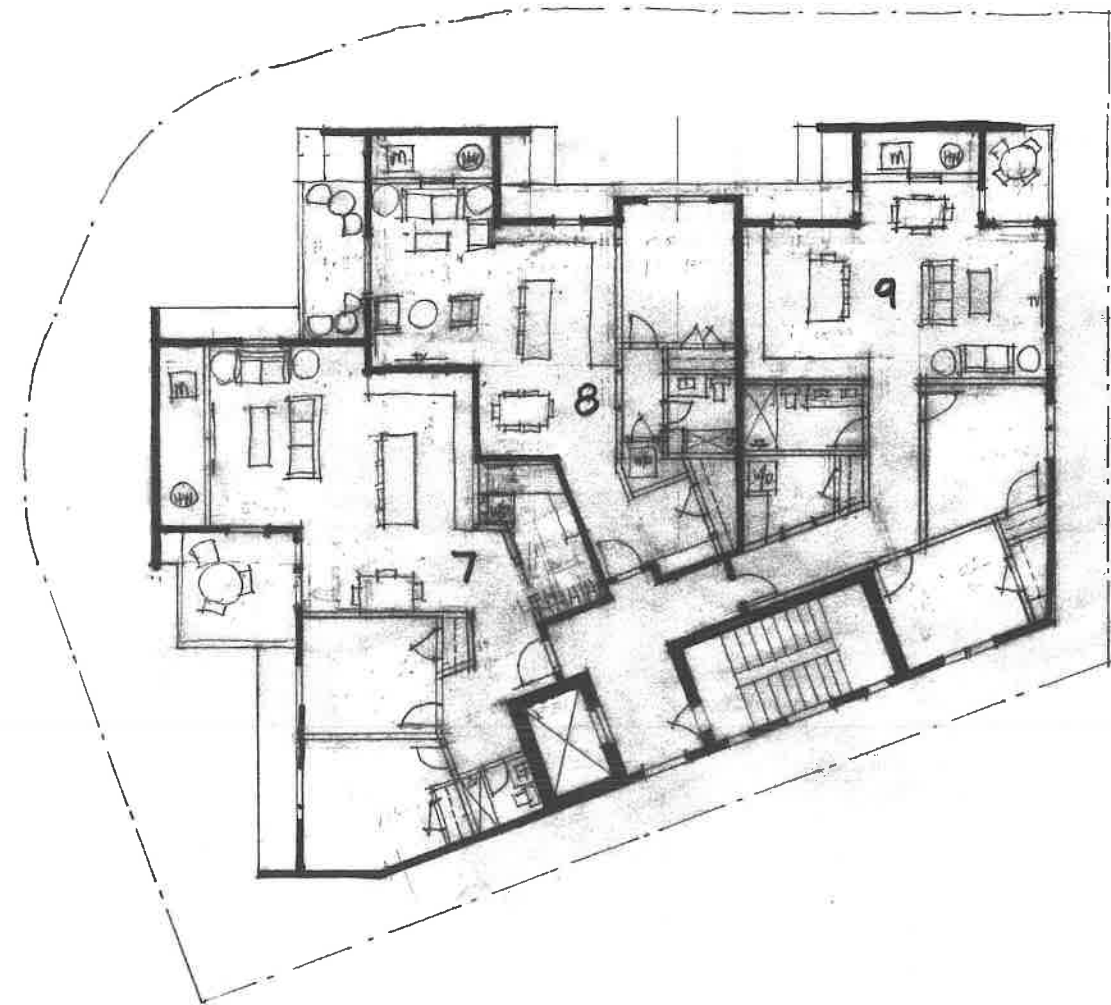
NEW MIXED USE BUILDING
86 MAIN STREET
MANASQUAN, NEW JERSEY 08736

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Architecture, LLC.

DRAWN BY: LMC
REVIEWED BY: ETM

REVISIONS

SHEET TITLE
SCALE
SHEET NUMBER
DATE DATE
10/12
PROJECT NUMBER
2201
A-4
SHEET 1 OF



FOURTH FLOOR PLAN

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

FEB 07 2022

DPW _____ CONST _____
PD _____ OTHER _____

February 4, 2022

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1810
Variance – Lupinski
Block 157, Lot 4.03
13½ Ocean Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey of Property prepared by Steven Edwards, PLS, of Edwards Surveying, dated July 17, 2021.
2. Plot Plan prepared by Matthew Hockenbury, PE, of MCH Engineering, Inc., dated January 5, 2021, last revised January 17, 2022.
3. Architectural Floorplans and Elevation, prepared by Brian Berzinskis, RA, of the Grasso Design Group, dated January 3, 2022.

The property is located in the R-2 Single-Family Residential Zone. The property does not front on an improved road but has easement access to Ocean Avenue between 13 and 15 Ocean Avenue. With this application, the applicant proposes to construct a new, raised two story dwelling, with a garage and storage area on the ground level, and associated site improvements. The application is deemed complete as of February 4, 2022.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted.
2. The following bulk ('c') variances are required as part of this application:
 - a. A maximum building coverage of 30% is permitted, whereas a building coverage of 35.43% is proposed (16.9% exists).

Re: Boro File No. MSPB-R1810
Variance – Lupinski
Block 157, Lot 4.03

February 4, 2022
Sheet 2

- b. A minimum front yard setback of 25 feet is required, whereas a setback of 10.6 feet is proposed to the covered front porch (18.2 feet exists).
 - c. A minimum rear yard setback of 20 feet is required, whereas a setback of 7.7 feet is proposed (1.6 feet exists).
 3. The following non-conformities exist on Lot 4.03 and are not proposed to be modified as part of this application:
 - a. A minimum lot area of 5,000 square feet is required, whereas an area of 2,385 square feet exists and is proposed.
 - b. A minimum lot frontage of 50 feet is required, whereas a frontage of 0 feet exists and is proposed.
4. The applicant proposes the first floor elevation of the dwelling at elevation 15.0 where the current base flood elevation is 9 feet. The proposed building height is 33 feet as measured from the top of curb on Ocean Avenue.
5. The applicant has provided deed and easement information from the County Clerk's office regarding the creation of the subject lot by subdivision in 1985, and the existing access and utility easement over adjacent Lots 4.01 and 4.02.
6. The minimum two conforming parking spaces are provided, one in the garage and one in front of the proposed dwelling.
7. A drainage recharge system in accordance with the Borough's stormwater ordinance is proposed in both side yard areas. Connections from the roof drains should be shown on the plan. Slotted covers should be provided for the gutter overflows.
8. The proposed air conditioning units are to be located in the easterly side yard but outside of the required 5 feet side yard setback.
9. The lot is proposed to be stabilizing with decorative stone.
10. The applicant should comment on the location of the existing and proposed water and sewer connections for the dwelling. If the lot is not serviced by separate water and sewer services, new service lines must be installed.
11. It appears that the required 80 square feet of enclosed storage space is provided in the ground level storage and garage floor areas.
12. A landscaping plan for the front yard area must be provided. It does not appear that any trees will be removed as part of this application.
13. Any new utilities should be located underground if possible.
14. Any curb and sidewalk must be replaced along Ocean Avenue and as necessary.



Re: Boro File No. MSPB-R1810
Variance – Lupinski
Block 157, Lot 4.03

February 4, 2022
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
MANASQUAN PLANNING BOARD
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Matthew Hockenbury, PE
MCH Engineering, Inc., 1010 Commons Way, Bldg G, Toms River, NJ 08755
Brian Berzinskas, AIA
Grasso Design Group, 231 Highway 71, Manasquan, NJ 08736
Thomas Bateman
43 Pearce Court, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official



January 24, 2022

Thomas Bateman
43 Pearce Court
Manasquan, NJ 08736

Re: Block: 157 Lot: 4.03 Zone: R-2 Flood Zone: AE BFE: 9ft. DFE: 10ft.
13 1/2 Ocean Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove the existing single family dwelling and construct a new two story single family dwelling.

Plot plan prepared by Matthew Hockenbury on January 5, 2022. Conceptual plans prepared by Brian Berzinskis on January 3, 2022.

Application denied for the following reason(s):

Section 35-9.4 - Lot Frontage – 50ft. Required
.0ft. Existing

“ - Lot Area – 5,000s.f. Required
2,385s.f. Existing

“ - Front Setback – 25ft. Required
10.6ft. Proposed

“ - Rear Setback – 20ft. Required
7.7ft. Proposed

“ - Building Coverage – 30% Permitted
36.2% Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large, stylized "F".

Richard Furey
Zoning/Code Enforcement Officer

BOF HALL
201 EA' N STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official



APPLICATION TO THE PLANNING BOARD

- *Applicant's Name: MARIE LUPINSKE
- *Applicant's Address: 13 OCEAN AVENUE MANASQUAN, NJ 08736
- *Telephone Number: Home: _____ Cell: 201-921-8662
- *e-mail Address: m.lupinske@yahoo.com
- *Property Location: 13 1/2 OCEAN AVENUE MANASQUAN, NJ 08736
- *Block: 157 Lot: 4.03
- *Type of Application: BULK VARIANCE
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major- Site Plan Approval
- *Date of Zoning Officer's Denial Letter: 24 JANUARY 2022
Attach Zoning Permit Application
- *Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.
- *Is the Applicant the Landowner? YES
- *Does the Applicant own any adjoining land? YES 13 OCEAN AVE MANASQUAN
- *Are the property taxes paid to date? YES
- *Have there been any previous applications to the Planning Board concerning this property? NO
(Attach copy)
- **Are there any Deed Restrictions, Easements, or Covenants affecting this property? YES
(Attach copy)
- *The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent

24 JANUARY 2022
Date

06/2021

13 ½ Ocean Ave.
Manasquan, NJ

On October 6, 2021, we were granted a fifteen-minute presentation before the Planning Board of Manasquan for the purpose of obtaining some guidance regarding the footprint that might be permitted on this property, Block 157, Lot 4.03, 13 ½ ocean Ave., Borough of Manasquan.

We were asked to determine when the lot came into existence and how and when the easement to the property was acquired. The Hall of records in Freehold provided copies of the deeds which answered those questions.

I have renumbered the attached pages and highlighted the information requested.

How the Lot came into existence is highlighted on page 2 (Book 4656, Page 843). The Planning Board of Manasquan gave final approval for this minor subdivision on December 3, 1985.

A Deed of Easement was created on March 10, 1987. As noted on page 5, (DB 4742 – 0306) and highlighted on page 8 (DB 4742 – 0311). Copies Of the survey for the easement are on page 9 (Block 4656 page 844) and page 10 (DB 4742 – 0313).

A Right of Way Agreement was given to Jersey Central Power and Light Company and New Jersey Bell Telephone Company on June 30, 1987, pages 16 and 17 (DB 4774 – 0923) and (DB 4774 -0924).

DEED

Prepared by: (Print signer's name below signature)

THOMAS E. O'BRIEN, Attorney

This Deed is made on May 16, 1986

BETWEEN DOUGLAS B. HANNA and DEBORAH HANNA, his wife,

COUNTY OF MONMOUTH

CONSIDERATION

RPD **EXEMPT** Ld' RTF

DATE 5-20-86 BY TH

whose address is 2395 Riverside Terrace, Wall Twp., N. J.,

referred to as the Grantor,

AND DOUGLAS B. HANNA and DEBORAH HANNA, his wife,

whose post office address is 2395 Riverside Terrace, Wall Twp., N. J.,

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of NO CONSIDERATION

The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-2.1) Municipality of Borough of Manasquan
Block No. 157 Lot No. 4 Account No.

No property tax identification number is available on the date of this deed. (Check box if applicable.)

Property. The property consists of the land and all the buildings and structures on the land in the Borough of Manasquan of Manasquan County of Monmouth and State of New Jersey. The legal description is:

TRACT I

BEGINNING at a monument in the southwesterly line of Ocean Avenue, distant 150.27 ft. measured along the same in a southeasterly direction from its intersection with the southeasterly line of North Potter Avenue and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 26.50 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West 26.50 ft. along the southwesterly line of Ocean Avenue to the point and place of Beginning.

TOGETHER with a right-of-way in and over a certain strip of land along the southeasterly side of the above-described Tract I and more particularly described as follows:

BEGINNING at a point which is the termination of the third course in Tract I herein and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 1.88 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West 1.88 ft. along the southwesterly line of Ocean Avenue to the point and place of Beginning;

which premises also constitutes a portion of Tract II described below, for the said Grantees, their heirs, successors, and assigns, and the tenants and occupants from time to time of the said premises, at all times freely to pass and repass, on foot or with vehicles, loads, or otherwise, to, from, and between the premises hereby granted and Ocean Avenue.

DEED

BOOK 4656 PAGE 842

TRACT II

BEGINNING at a point which is the termination of the third course in Tract I herein and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 26.50 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West along the southwesterly line of Ocean Avenue 26.50 ft. to the point and place of Beginning.

TOGETHER with a right-of-way in and over a certain strip of land along the northwesterly side of Tract II as just described herein, and more particularly described as follows:

BEGINNING at a point which is the Beginning Point of this Tract II description and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) North 40° 46' West 5.72 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) South 40° 46' East and along the southwesterly line of Ocean Avenue a distance of 5.72 ft. to the point and place of Beginning,

for the said Grantees, their heirs, successors, and assigns, and the tenants and occupants from time to time of the said premises, at all times freely to pass and repass, on foot or with vehicles, loads, or otherwise, to, from, and between the premises herein granted and Ocean Avenue.

TRACT III

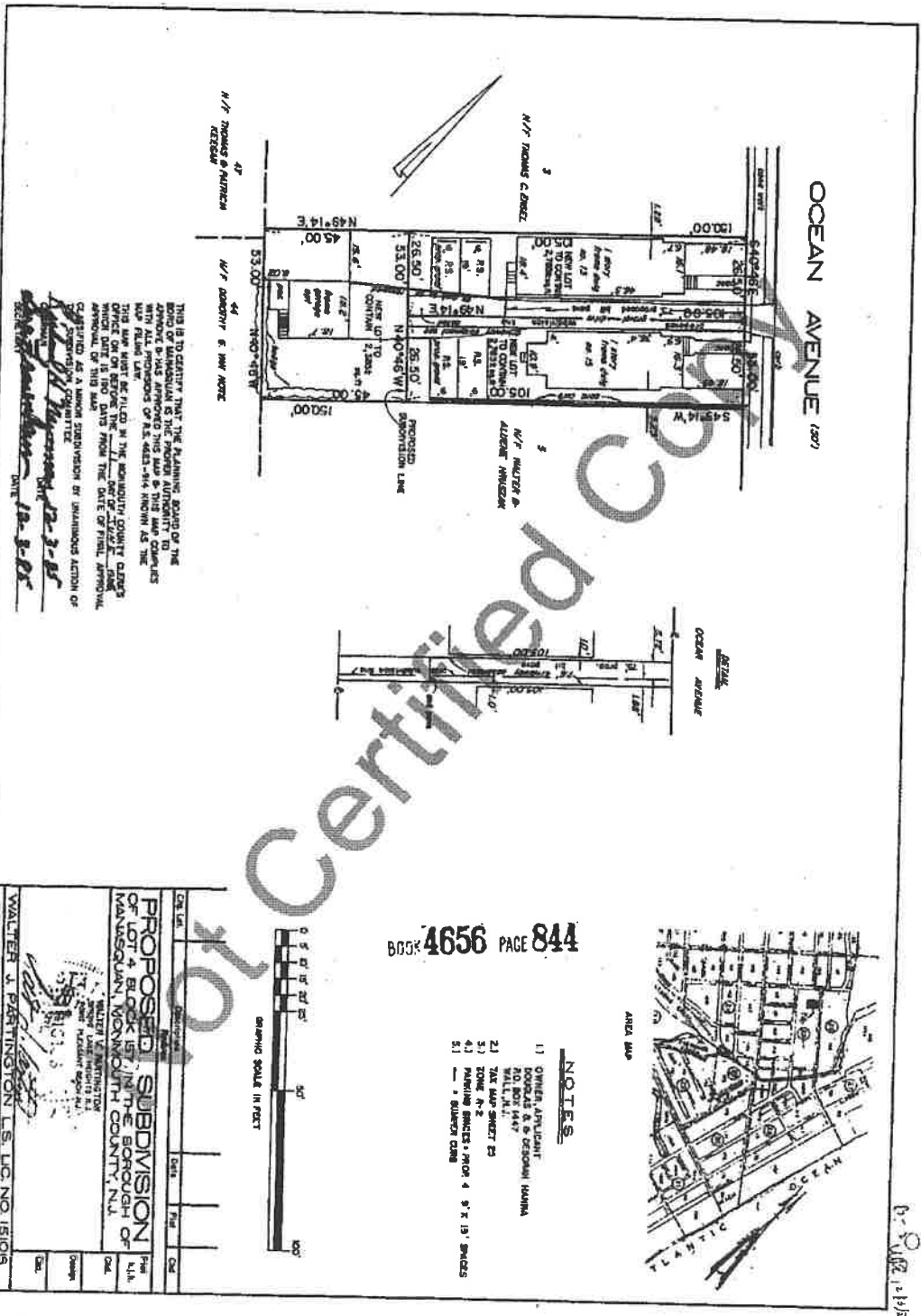
BEGINNING at a point which is the termination of the first course in Tract I herein and running thence

- (1) South 49° 14' West 45.00 ft. to a point; thence
- (2) South 40° 46' East 53.00 ft. to a point; thence
- (3) North 49° 14' East 45.00 ft. to a point; thence
- (4) North 40° 46' West 53.00 ft. to the point and place of Beginning.

TOGETHER with a right-of-way over each of the two strips of land described in Tract I and Tract II herein having widths of 1.88 ft. and 5.72 ft. and as delineated on the copy of the subdivision plan which is annexed hereto and made a part hereof, for the said Grantees, their heirs, successors and assigns, and the tenants and occupants from time to time of the said premises, at all times, freely to pass and repass, on foot, or with vehicles, loads, or otherwise, to, from, and between the premises hereby granted and Ocean Avenue.

The foregoing Tracts I, II and III are described in accordance with a plan entitled "Proposed Subdivision of Lot 4 Block 157 in the Borough of Manasquan, Monmouth County, N. J.," prepared by Walter J. Partington, L. S., dated April 11, 1985. Said subdivision was classified as a Minor Subdivision by the Planning Board of the Borough of Manasquan on December 3, 1985 and given final approval by said Planning Board on December 3, 1985.

BEING the same premises conveyed to Douglas B. Hanna and Deborah Hanna, his wife, by deed from William A. Mace and Catherine M. Mace, his wife, dated December 28, 1984 and recorded January 4, 1985 in Deed Book 4533 at page 300.

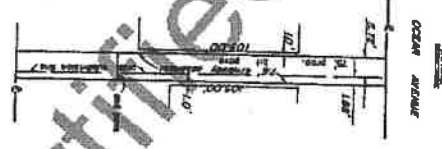


THIS IS TO CERTIFY THAT THE PLANNING BOARD OF THE BOROUGH OF MANASSAQUAN IS THE PROPER AUTHORITY TO APPROVE & HAS APPROVED THIS PLAN & THIS PLAN COMPLETS ALL THE REQUIREMENTS OF R.S. 46A:2-14, KNOWN AS THE MAP FILING LAW.

THIS PLAN MUST BE FILED IN THE COUNTY CLERK'S OFFICE ON OR BEFORE THE 11TH DAY OF JUNE, AND APPROVED BY THE PLANNING BOARD ON OR BEFORE THE DATE OF FINAL APPROVAL OF THIS PLAN.

CLASSIFIED AS A MINOR SUBDIVISION BY RESOLUTION ACTION OF THE BOARD OF MANASSAQUAN BOROUGH.

DATE: 12-3-88
DATE: 12-3-88
DATE: 12-3-88



BOOK 4656 PAGE 844

NOTES

- OWNER APPLICANT DONALD S. S. STONOWSKI MANNA TOL, N.J.
21. 7.00' WIDE STRIP 23
- 4.1. PARALLEL STRIP 1.100' x 9' x 19' STRIPS
51. 1. SUBVERT CANAL



NO.	DATE	BY	CHK.
1			

PROPOSED SUBDIVISION OF LOT 4, BLOCK 157, NORTH BOROUGH OF MANASSAQUAN, MONMOUTH COUNTY, N.J.

WALTER J. PARTINGTON, ESQ.
L.S. LIC. NO. 15705
JOB NO. MAN 581 SCALE | DATE: 4/11/89

M

Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

Signatures. The Grantor signs this Deed as of the date at the top of the first page.

Witnessed by:

[Signature]
THOMAS E. O'BRIEN

[Signature] (Seal)
DOUGLAS B. HANNA

[Signature] (Seal)
DEBORAH HANNA

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

SS.:

I CERTIFY that on *May 16*, 1986, DOUGLAS B. HANNA and DEBORAH HANNA, his wife,

personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for \$ NO CONSIDERATION as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-2.)

RTE Exempt
RvK 40: ch 246
TRUAX Abstract, Inc. Peaker, Inc.
P.O. Box 185
BRIDGE, NJ 08730
RE: MISC.
EVIDENCE NO FILE #

[Signature]
(Print name and title below signature)
THOMAS E. O'BRIEN, Attorney-at-law of New Jersey

BOOK 4656 PAGE 845

4

PREPARED BY: Thomas E. O'Brien
THOMAS E. O'BRIEN, ESQUIRE

42
62

DEED OF EASEMENT

THIS DEED OF EASEMENT made this 10th day of March, 1987, by and between:

DOUGLAS B. HANNA and DEBORAH HANNA, his wife, whose address is 2395 Riverside Terrace, Wall Township, Monmouth County, New Jersey 07719 hereinafter referred to as the "Grantors";

and

DOUGLAS B. HANNA and DEBORAH HANNA, his wife, whose address is 2395 Riverside Terrace, Wall Township, Monmouth County, New Jersey 07719 hereinafter referred to as the "Grantees".

W I T N E S S E T H:

The Grantors in consideration of One Dollar (\$1.00) and other good and valuable consideration, receipt of which is hereby acknowledged, does hereby give, grant and convey unto the Grantees, their executors, administrators or assigns a perpetual easement over, under and through the real estate consisting of three (3) parcels more particularly described on Exhibit "A", a copy of which is attached hereto and made a part hereof, which parcels were created by minor subdivision of Lot 4, Block 157, as reflected on the minor subdivision sketch plat also attached hereto and made a part hereof at Exhibit "B", for the purposes of using, replacing, maintaining and constructing water, sewer, gas and electric utility pipes or lines now existing or which may be required in the future in connection with the Grantees, their executors, administrators or assigns use and occupancy of the three (3) residential structures. The lands upon which each of the three (3) residential structures are located, reflected as Nos. 13, 15 and "Frame Garage Apartment" on attached Exhibit "C", shall each be benefited and burdened by the utility easements granted herein to the extent reflected on "Plan of Utility Easement for Dwelling Known as 13 and 15 and "Frame Garage Apartment", Ocean Avenue, Borough of Manasquan, Monmouth County, New Jersey" prepared by George W. Edwards, Land Surveyor, dated February 16, 1987. The legal description of each of the utility

Not Certified Copy

DB4742-0308

5

easement areas located upon premises designated as Nos. 13, 15 and "Frame Garage Apartment" are attached hereto and made a part hereof at Exhibits "D", "E" and "F", respectively.

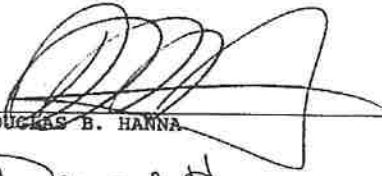
The Grantees, their executors, administrators or assigns shall be responsible to construct any required utility systems and to make all repairs required to be made to the utility systems at their sole cost and expense. In the event any of the three (3) residential units are transferred to third parties then each of the individual property owners shall be responsible to keep said easement areas free and clear of any and all encumbrances so that each property owner shall have the right of access to said easement property for the purposes of operating and maintaining the aforesaid utility systems, and each party shall be responsible for the cost of any construction or repairs to the lines servicing their property.

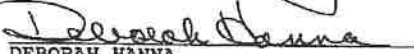
The Grantees, their executors, administrators or assignees shall, as soon as practicable after construction or repair of the said utility systems, restore the easement areas to a neat and presentable condition, it being understood that this covenant is to run with the land.

This indenture shall inure to the benefit of and be binding upon the successors and assigns of the parties hereto.

IN WITNESS WHEREOF, the said Grantors have executed this Deed as of the date aforesaid.

WITNESS:



DOUGLAS B. HANNA


DEBORAH HANNA

Not Certified Copy

6

TRACT I

BEGINNING at a monument in the southwesterly line of Ocean Avenue, distant 150.27 ft. measured along the same in a southeasterly direction from its intersection with the southeasterly line of North Potter Avenue and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 26.50 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West 26.50 ft. along the southwesterly line of Ocean Avenue to the point and place of Beginning.

TOGETHER with a right-of-way in and over a certain strip of land along the southeasterly side of the above-described Tract I and more particularly described as follows:

BEGINNING at a point which is the termination of the third course in Tract I herein and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 1.88 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West 1.88 ft. along the southwesterly line of Ocean Avenue to the point and place of Beginning;

which premises also constitutes a portion of Tract II described below, for the said Grantees, their heirs, successors, and assigns, and the tenants and occupants from time to time of the said premises, at all times freely to pass and repass, on foot or with vehicles, loads, or otherwise, to, from, and between the premises hereby granted and Ocean Avenue.

TRACT II

BEGINNING at a point which is the termination of the third course in Tract I herein and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 26.50 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West along the southwesterly line of Ocean Avenue 26.50 ft. to the point and place of Beginning.

TOGETHER with a right-of-way in and over a certain strip of land along the northwesterly side of Tract II as just described herein, and more particularly described as follows:

BEGINNING at a point which is the Beginning Point of this Tract II description and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) North 40° 46' West 5.72 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) South 40° 46' East and along the southwesterly line of Ocean Avenue a distance of 5.72 ft. to the point and place of Beginning.

for the said Grantees, their heirs, successors, and assigns, and the tenants and occupants from time to time of the said premises, at all times freely to pass and repass, on foot or with vehicles, loads, or otherwise, to, from, and between the premises herein granted and Ocean Avenue.

EXHIBIT "A"

DB4742-0310

7

TRACT III

BEGINNING at a point which is the termination of the first course in Tract I herein and running thence

- (1) South 49° 14' West 45.00 ft. to a point; thence
- (2) South 40° 46' East 53.00 ft. to a point; thence
- (3) North 49° 14' East 45.00 ft. to a point; thence
- (4) North 40° 46' West 53.00 ft. to the point and place of Beginning.

TOGETHER with a right-of-way over each of the two strips of land described in Tract I and Tract II herein having widths of 1.88 ft. and 5.72 ft. and as delineated on the copy of the subdivision plan which is annexed hereto and made a part hereof, for the said Grantees, their heirs, successors and assigns, and the tenants and occupants from time to time of the said premises, at all times, freely to pass and repass, on foot, or with vehicles, loads, or otherwise, to, from, and between the premises hereby granted and Ocean Avenue.

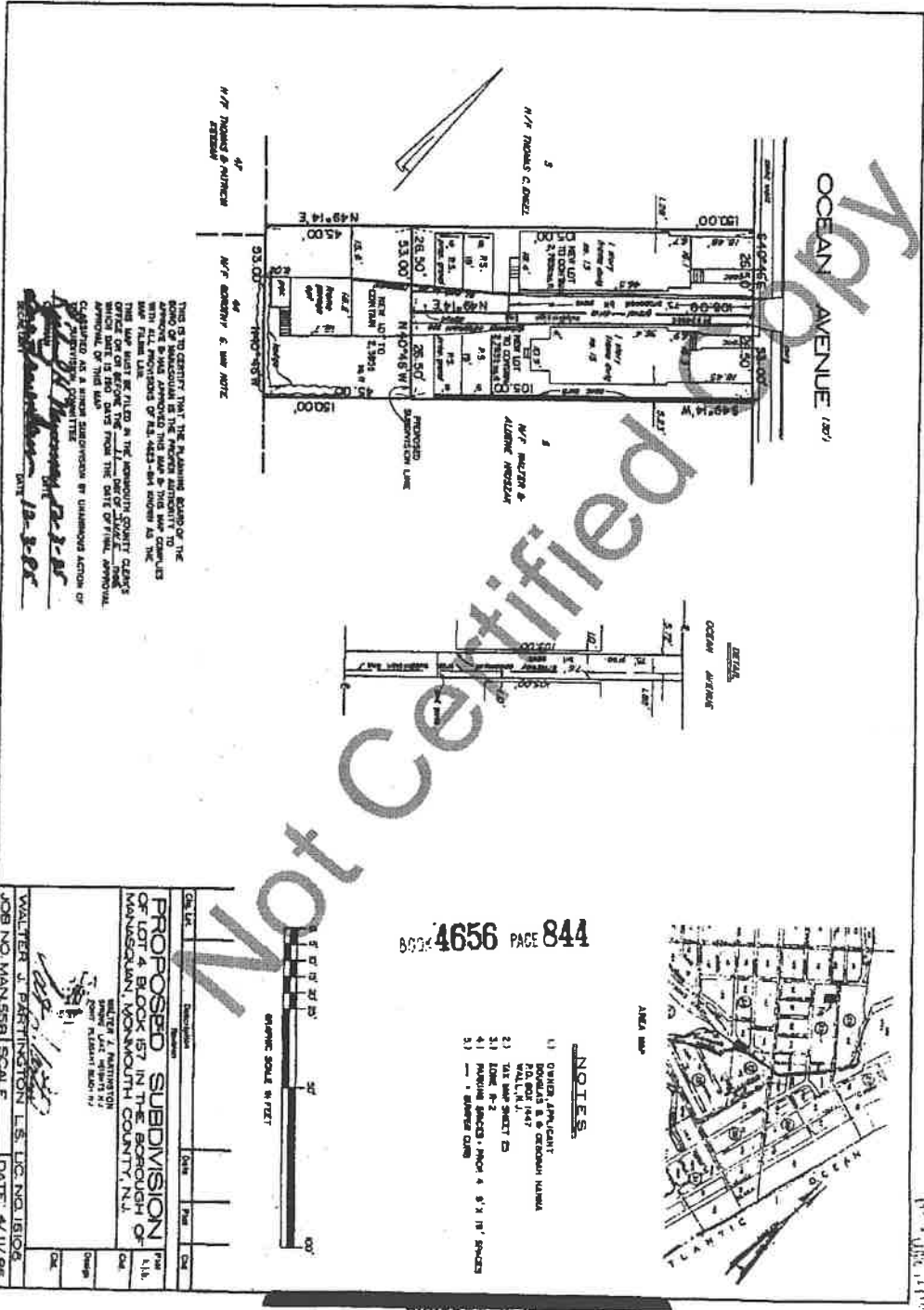
The foregoing Tracts I, II and III are described in accordance with a plan entitled "Proposed Subdivision of Lot 4 Block 157 in the Borough of Manasquan, Monmouth County, N. J.," prepared by Walter J. Partington, L. S., dated April 11, 1985. Said subdivision was classified as a Minor Subdivision by the Planning Board of the Borough of Manasquan on December 3, 1985 and given final approval by said Planning Board on December 3, 1985.

BEING the same premises conveyed to Douglas B. Hanna and Deborah Hanna, his wife, by deed from William A. Mace and Catherine M. Mace, his wife, dated December 28, 1984 and recorded January 4, 1985 in Deed Book 4533 at page 300.

DB4742-0311

Not Certified

8



PROPOSED SUBDIVISION
OF LOT 4, BLOCK 157 IN THE BOROUGH OF
MANASSAUS, WASHINGTON COUNTY, N.J.

WALTER J. PARTINGTON
 Surveyor
 1501 1/2
 1501 1/2

WALTER J. PARTINGTON L.S. LIC. NO. 18108
 JOB NO. MAN58B1 SCALE DATE: 7/11/85

8034 4656 PAGE 844

NOTES

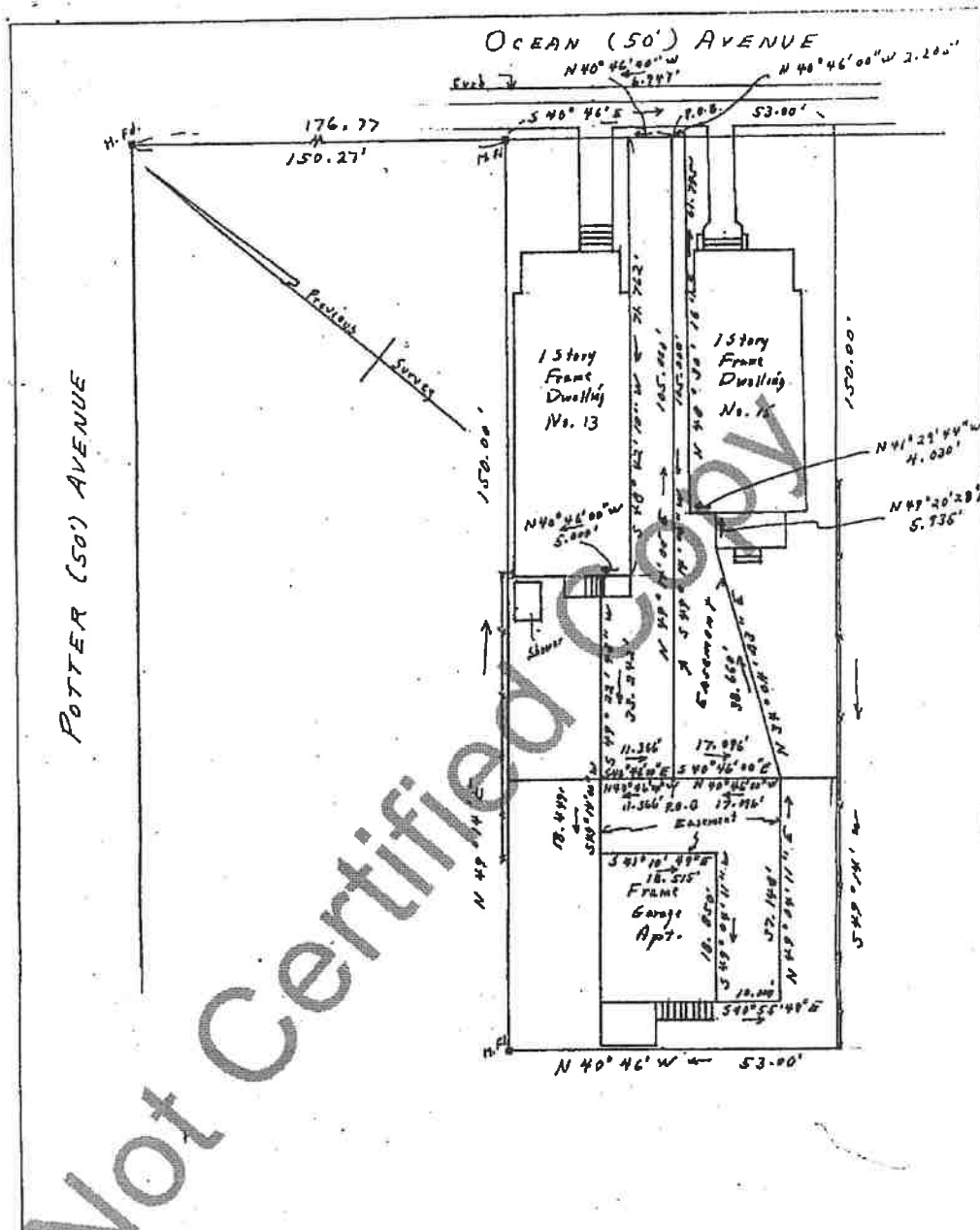
- 1) OWNER APPLICANT
 2) DATE OF SURVEY
 3) DATE OF SURVEY
 4) DATE OF SURVEY
 5) DATE OF SURVEY



OB4742-0312

EXHIBIT "B"

9



PLAN OF UTILITY EASEMENTS FOR DWELLINGS KNOWN AS 13 & 15A OCEAN AVENUE, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

George W. Edwards
 GEORGE W. EDWARDS
 LAND SURVEYOR, N. J. Lic. No. 19002
 4 Forest Avenue
 Manasquan, N.J. 08736

Scale: 1" = 20'

Date: February 16, 1987

EXHIBIT "C"

DB4742-0313

10

February 16, 1987

DWELLING NO. 13

a portion of
DESCRIPTION OF UTILITY EASEMENT FOR LOT 4, BLOCK 157, TAX
MAP, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY;

BEGINNING at a point on the Southerly line of Ocean
Avenue, distant 176.77 feet on a course of South 40 degrees,
46 minutes East from the intersection of the Southerly line
of Ocean Avenue and the Easterly line of Potter Avenue;
thence,

(1) North 40 degrees, 46 minutes, 00 seconds West 6.947
feet to a point; thence,

(2) South 48 degrees, 42 minutes, 10 seconds West
71.762 feet to a point; thence,

(3) North 40 degrees, 46 minutes, 00 seconds West 5.000
feet to a point; thence,

(4) South 49 degrees, 22 minutes, 43 seconds West
33.242 feet to a point; thence,

(5) South 40 degrees, 46 minutes, 00 seconds East
11.366 feet to a point; thence,

(6) North 49 degrees, 14 minutes, 00 seconds East
105.000 feet to the beginning point.

Containing 851.04 square feet or 0.019537 Acres.

EXHIBIT "D"

DB4742-0314

11

February 16, 1987

DWELLING NO. 15

a portion of
DESCRIPTION OF UTILITY EASEMENT FOR LOT 4 , BLOCK 157, TAX
MAP, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY:

BEGINNING at a point on the Southerly line of Ocean Avenue, distant 176.77 feet on a course of South 40 degrees, 46 minutes East from the intersection of the Southerly line of Ocean Avenue and the Easterly line of Potter Avenue; thence,

(1) South 49 degrees, 14 minutes, 00 seconds West 105.000 feet to a point; thence,

(2) South 40 degrees, 46 minutes, 00 seconds East 17.096 feet to a point; thence,

(3) North 34 degrees, 04 minutes, 43 seconds East 38.660 feet to a point; thence,

(4) North 49 degrees, 20 minutes, 28 seconds East 5.935 feet to a point; thence,

(5) North 41 degrees, 29 minutes, 44 seconds West 4.030 feet to a point; thence,

(6) North 48 degrees, 30 minutes, 16 seconds East 61.795 feet to a point; thence,

(7) North 40 degrees, 46 minutes, 00 seconds West 2.205 feet to the beginning point.

Containing 649.91 square feet or 0.014920 Acres.

EXHIBIT "E"

DB4742-0315

Not Certified Copy

12

February 16, 1987

BACK OF DWELLINGS NO. 13 AND 15
"FRAME GARAGE APARTMENT"
a portion of

DESCRIPTION OF UTILITY EASEMENT FOR LOT 4, BLOCK 157;
TAX MAP, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY;

BEGINNING at a point the following two courses and
distances from the intersection of the Southerly line of
Ocean Avenue and the Easterly line of Potter Avenue,

(1) South 40 degrees, 46 minutes East 178.77 feet to a
point; thence,

(2) South 49 degrees, 14 minutes, 00 seconds West
105.000 feet to the beginning point; thence,

(1) North 40 degrees, 46 minutes, 00 seconds West
11.366 feet to a point; thence,

(2) South 49 degrees, 14 minutes, 00 seconds West
18.449 feet to a point; thence,

(3) South 41 degrees, 10 minutes, 49 seconds East
18.515 feet to a point; thence,

(4) South 49 degrees, 04 minutes, 11 seconds West
18.850 feet to a point; thence,

(5) South 40 degrees, 55 minutes, 49 seconds East
10.000 feet to a point; thence,

(6) North 49 degrees, 04 minutes, 11 seconds East
37.148 feet to a point; thence,

(7) North 40 degrees, 46 minutes, 00 seconds West
17.096 feet to the beginning point.

Containing 711.37 square feet or 0.016331 Acres.

EXHIBIT "F"

DB4742-0316

P

DEED OF EASEMENT

DOUGLAS B. HANNA and
DEBORAH HANNA, His wife,

Grantors,

DOUGLAS B. HANNA and
DEBORAH HANNA, His wife,

Grantees

Dated: *MARCH 10, 1987*

*Pl. 37⁰⁰ Freehold,
Cedar & Blewack, Bape*

RECORD AND RETURN TO:

THOMAS E. O'BRIEN, ESQUIRE
Bathgate, Wegener, Wouters
& Neumann
One Airport Road
Lakewood, New Jersey 08701

W.E.N.

023531

RECORDED
MONMOUTH COUNTY
CLERKS OFFICE
8:45 AM

MAR 24 1987
JANE G. CLAYTON
COUNTY CLERK
FREEHOLD, N.J.

END OF DOCUMENT

DB4742-0318

Not Certified Copy

15

Right of Way Agreement

IN CONSIDERATION of One Dollar (\$1.00), paid by JERSEY CENTRAL POWER & LIGHT COMPANY, a New Jersey corporation, or NEW JERSEY BELL TELEPHONE COMPANY, the receipt of which is hereby acknowledged, the undersigned do (does) hereby grant and convey unto said Jersey Central Power & Light Company, its successors and assigns, and New Jersey Bell Telephone Company, its associated and allied Companies, their successors and assigns, the right to enter without notice upon premises of the undersigned in the _____ Borough

of Hanasquan County of Monmouth and State of New Jersey,

situate on the south side of Ocean Avenue, east of Potter Avenue, being Lot 4-131/2, Block 157, as shown on the Tax Map of said Borough. Also being the same premises described in Deed Dated May 15, 1987 and recorded May 26, 1987 in Deed Book 4757 on Page 959 at the Monmouth County Clerks Office.

and from time to time to erect, maintain, renew, relocate, redesign, alter and remove poles, guys, anchors, guy stubs, crossarms, wires, cables and appurtenances in perpetuity for the transmission and distribution of electricity, the operation of communication and CATV systems, and in addition thereto to erect and maintain such other wires or appurtenances on said poles and crossarms as said Companies may deem necessary and proper to be attached thereto, upon, over, across, along and beyond said property, the course of said pole line to run as follows:

Beginning from an existing pole BT#40084 situated on the north side of Ocean Avenue and crossing said roadway in a generally southerly direction traveling a total distance of approximately 150 feet +/- and entering the premises of the grantor with a new pole JC#779 together with a stabilizing anchor guy extending southerly for proper support of said pole.

It is agreed that the Companies may improve said pole line from time to time so that utility service may be supplied in a proper manner and shall have the right to trim and keep trimmed, or cut and remove such tree or tree branches as may be required to maintain service at all times.

(Non-corporate)
(Grantors)

(Corporate)
(Grantors)

Date 6/30 1987

WITNESS: Robert A. Timpanaro

Marie Soares (L.S.)
Marie Soares (L.S.)

(L.S.)
(L.S.)

ATTEST:

Secretary

BY _____
President

Prepared by: Robert A. Timpanaro
Robert A. Timpanaro

059090
RECORDED
MONMOUTH COUNTY
CLERKS OFFICE
10:35 AM
JUL 24 1987
JANE G. CLAYTON
COUNTY CLERK
FRENCHVILLE N.J.

DB4774-0923

16

STATE OF NEW JERSEY)
)
COUNTY OF) ss:

BE IT REMEMBERED, that on this _____ day of _____, 19____, before me, the subscriber, personally appeared _____ who, being by me duly sworn on his oath, deposes and proves to my satisfaction, that he is _____ Secretary of _____

the Grantor named in the within Instrument, that _____ is _____ President of said Corporation; that the execution, as well as the making of this Instrument, has been duly authorized by a proper resolution of the Board of Directors of said Corporation; the deponent well knows the corporate seal of said Corporation; and the seal affixed to said Instrument is such corporate seal and was thereto affixed, and said Instrument signed and delivered by said _____ President, as and for his voluntary act and deed and for the voluntary act and deed of said Corporation, in presence of deponent, who thereupon subscribed his name thereto as witness. The full and actual consideration paid for the transfer of title to realty evidenced by the within Deed, as such consideration is defined in P.L. 1968, c.49, Sec. 1(c) is \$1.00.

Sworn to and subscribed before me at _____)
the date aforesaid.)

Secretary

Notary Public of New Jersey

My Commission Expires _____

Parcel No. _____
Line: _____
County: _____

RIGHT OF WAY AGREEMENT
W.O.# 525227

SOARES, MARIE

TO
JERSEY CENTRAL POWER
& LIGHT COMPANY

RECEIVED in the Clerk's Office of the County of _____ New Jersey, on the _____ day of _____ A.D., 19____, at _____ o'clock in the noon, and recorded in Book _____ of Deeds for said County, on Page _____

This instrument prepared by: R. A. Timpanaro
RECORD AND RETURN TO
JERSEY CENTRAL POWER & LIGHT COMPANY
REAL ESTATE DEPARTMENT
MADISON AVE. AT PUNCH BOWL RD.
MORRISTOWN, N.J. 07960

ACCT. #380

(Direct Acknowledgment)

STATE OF NEW JERSEY)
)
COUNTY OF Monmouth) ss:

BE IT REMEMBERED, That on this 30th day of June, 1987, in the County and State aforesaid, personally appeared before me, the subscriber, a Notary Public of New Jersey Marie Soares who, I am satisfied, is the Grantor Marie Soares mentioned in the within Instrument, to whom I first made known the contents thereof, and thereupon she acknowledged that she signed, sealed and delivered the same as her voluntary act and deed for the uses and purposes therein expressed. The full and actual consideration paid for the transfer of title to realty evidenced by the within Deed, as such consideration is defined in P.L. 1968, c.49, Sec. 1(c), is \$1.00.

Robert A. Timpanaro
Notary Public of New Jersey

ROBERT A. TIMPANARO
NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES AUGUST 26, 1989

My Commission Expires _____

(Subscribing Witness Act.)

I, _____, hereby certify that on the _____ day of _____, 19____, in the County of _____ and State aforesaid, personally appeared before me _____, whom I personally know to be the subscribing witness to the execution of the foregoing Instrument and who, being duly sworn, deposed and said that _____ he subscribed his name to the said Instrument as a subscribing witness on the date contained therein, and that _____ he saw _____ sign, seal and deliver the said instrument as _____ voluntary act and deed, and that _____ he subscribed his name thereto at the same time as an attesting witness.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal the day and year aforesaid. The full and actual consideration paid for the transfer of title to realty evidenced by the within Deed, as such consideration is defined in P.L. 1968, c.49, Sec. 1(c) is \$1.00.

Notary Public of New Jersey

My Commission Expires _____

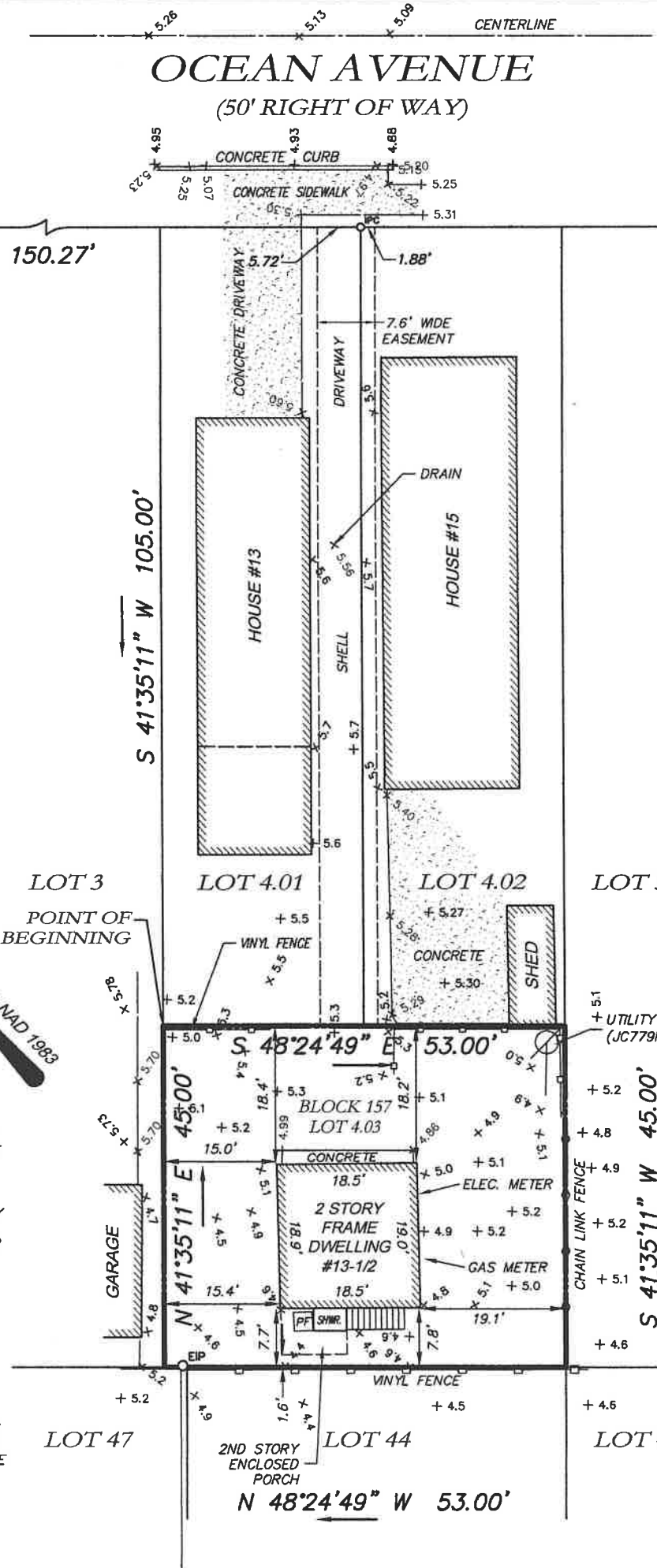
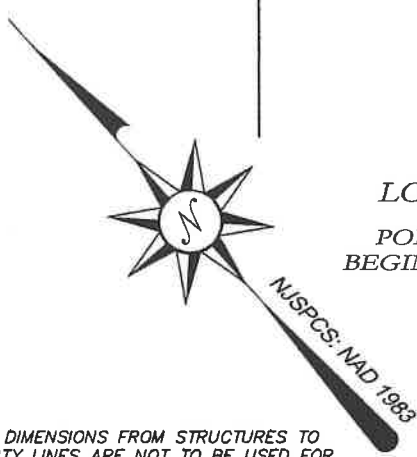
DB4774-0924

END OF DOCUMENT

17

NORTH POTTER AVENUE
(50' RIGHT OF WAY)

OCEAN AVENUE
(50' RIGHT OF WAY)



NOTES:

OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES.

THE CERTIFICATION IS MADE ONLY TO THOSE PARTIES NAMED HEREON FOR THE PURCHASE AND/OR MORTGAGE OF PROPERTY DELINEATED AND NAMED HEREON. THE SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR USE OF THIS SURVEY FOR ANY PURPOSE; INCLUDING, BUT NOT LIMITED TO, SURVEY AFFIDAVIT, RESALE OF PROPERTY OR USE BY ANY PARTIES NOT LISTED DIRECTLY OR INDIRECTLY IN THE CERTIFICATION.

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS THE RESULT OF A FIELD SURVEY MADE ON THE DATE SHOWN WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS". THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

PROPERTY CORNERS TO BE SET AT A LATE DATE

ELEVATIONS ARE IN NAVD 1988 (GEOID 18)

SURVEY OF PROPERTY
BLOCK 157 - LOT 4.03
TAX MAP
BOROUGH OF MANASQUAN
MONMOUTH COUNTY
NEW JERSEY

EDWARDS SURVEYING
PROFESSIONAL LAND SURVEYORS

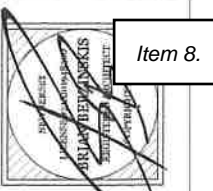
GEORGE W. EDWARDS, P.L.S.
1335 SUNSET AVENUE
POINT PLEASANT, NJ 08742
(1935-2021)

STEVEN M. EDWARDS, P.L.S.
4 FOREST AVENUE
MANASQUAN, NJ 08736

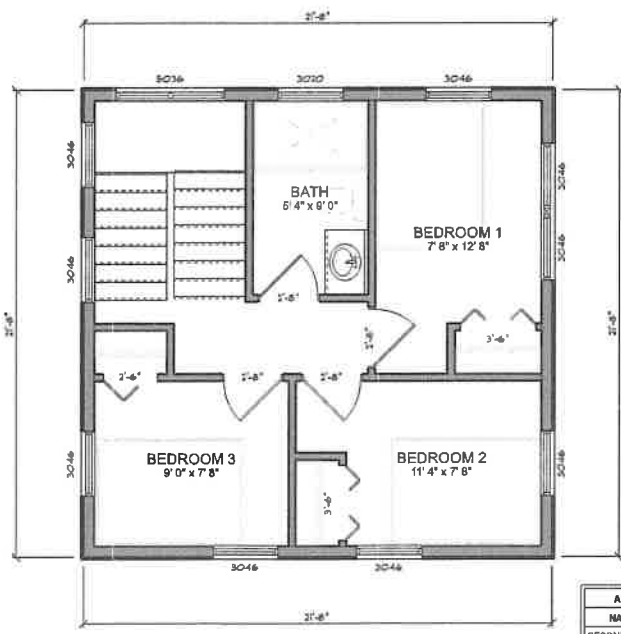
Manasquan: 732-223-0735 - Point Pleasant: 732-892-4010 - Fax: 732-223-3561
Email: edwards.surveying@yahoo.com

STEVEN M. EDWARDS, P.L.S.
New Jersey License Number: 24GS04323700

Scale: 1"=20'	
Date: JULY 17, 2021	Drawn by: SME
Job No.: 2021-029	Chk'd by: SME

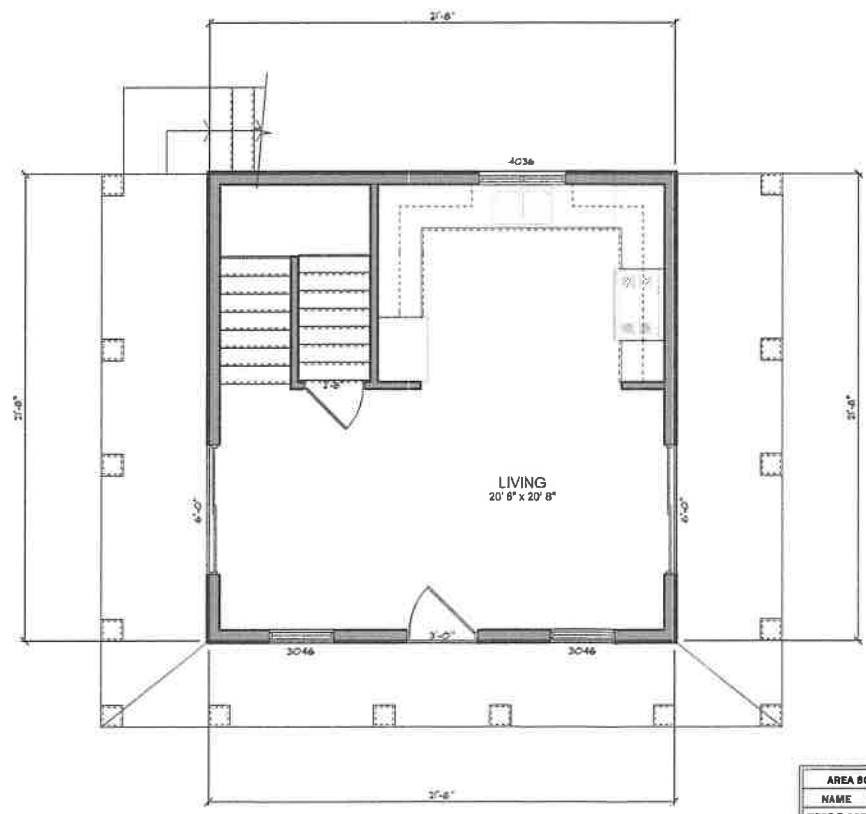


ELEVATION
SCALE: 3/16" = 1'-0"



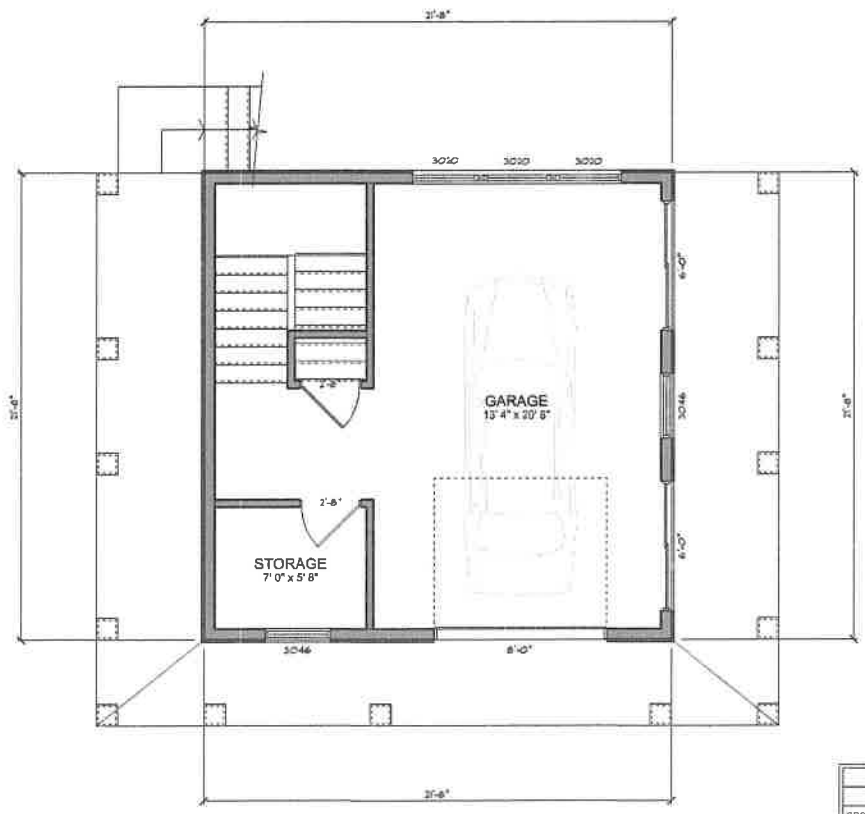
AREA SCHEDULE	
NAME	AREA
SECOND FLOOR	489.4 sq ft.

PROPOSED SECOND FLOOR
SCALE: 1/4" = 1'-0"



AREA SCHEDULE	
NAME	AREA
FIRST FLOOR	489.4 sq ft.

PROPOSED FIRST FLOOR
SCALE: 1/4" = 1'-0"



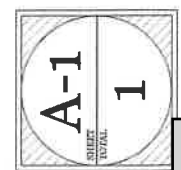
AREA SCHEDULE	
NAME	AREA
GROUND FLOOR	489.4 sq ft.

PROPOSED GROUND FLOOR
SCALE: 1/4" = 1'-0"

PROJECT FOR:
LUPINSKI, MARIE
13-1/2 OCEAN AVE
Block: 157
Lot: 4-03
Project Number
CN#021-07-003
MANASQUAN
NEW JERSEY

DATE	BY	BB
1/31/2022		

Grasso Design Group
design@grassodg.com
http://www.grassodg.com
231 Highway 71
Manasquan
New Jersey
Phone: 732-528-5850
Fax: 732-528-9067

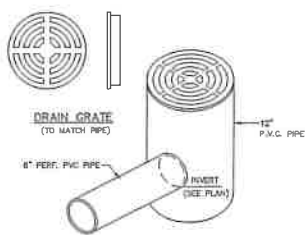


GENERAL NOTES

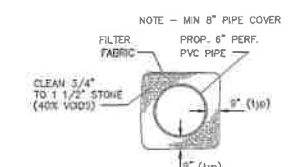
1. THE TRACT IS KNOWN AS LOT 4.03, BLOCK 157 AS SHOWN ON THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY TAX MAP SHEET #24, IT CONTAINS 2,385 SF AND IS LOCATED IN THE R-2 ONE-FAMILY RESIDENTIAL ZONE DISTRICT.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS ENTITLED "SURVEY OF PROPERTY", DATED 7/17/2021, PREPARED BY EDWARDS SURVEYING & SIGNED BY STEVEN M. EDWARDS, PLS NO 24GS04323700.
3. TOPOGRAPHIC DATUM: N.A.V.D., 1988 (VERTICAL)
N.A.D., 1983 (HORIZONTAL)
4. BASED ON A REVIEW OF NJDEP I-MAP INFORMATION, FRESHWATER WETLANDS DO NOT APPEAR TO BE LOCATED ON THE SUBJECT SITE.
5. PROPOSED LIMIT OF DISTURBANCE IS 2,385 SF (ENTIRE LOT).
6. EFFECTIVE BASE FLOOD ELEVATION = 8.0 (AE ZONE), PRELIMINARY BASE FLOOD ELEVATION = 9.0 (AE ZONE).
7. (2) PARKING STALLS REQUIRED AND (2) PARKING STALLS ARE PROPOSED.
8. DO NOT SCALE THESE PLANS.

LIST OF VARIANCES

1. THE REQUIRED LOT AREA IS 5,000 SF; WHEREAS THE EXISTING LOT AREA IS 2,385 SF.
2. THE REQUIRED LOT FRONTAGE IS 50'; WHEREAS THE EXISTING DRIVEWAY ACCESS EASEMENT IS 7.6' WIDE.
3. THE MINIMUM REQUIRED FRONT YARD SETBACK IS 25'; WHEREAS THE PROPOSED FRONT YARD SETBACK FOR THE DWELLING IS 10.6' (TO COVERED PORCH)
4. THE MINIMUM REQUIRED REAR YARD SETBACK IS 20'; WHEREAS THE PROPOSED REAR SETBACK IS TO THE DWELLING IS 3.7' (TO THE LANDING)
5. THE MAXIMUM PERMITTED BUILDING COVERAGE IS 30%; WHEREAS A BUILDING COVERAGE OF 35.43% IS PROPOSED.



BUBBLER INLET DETAIL

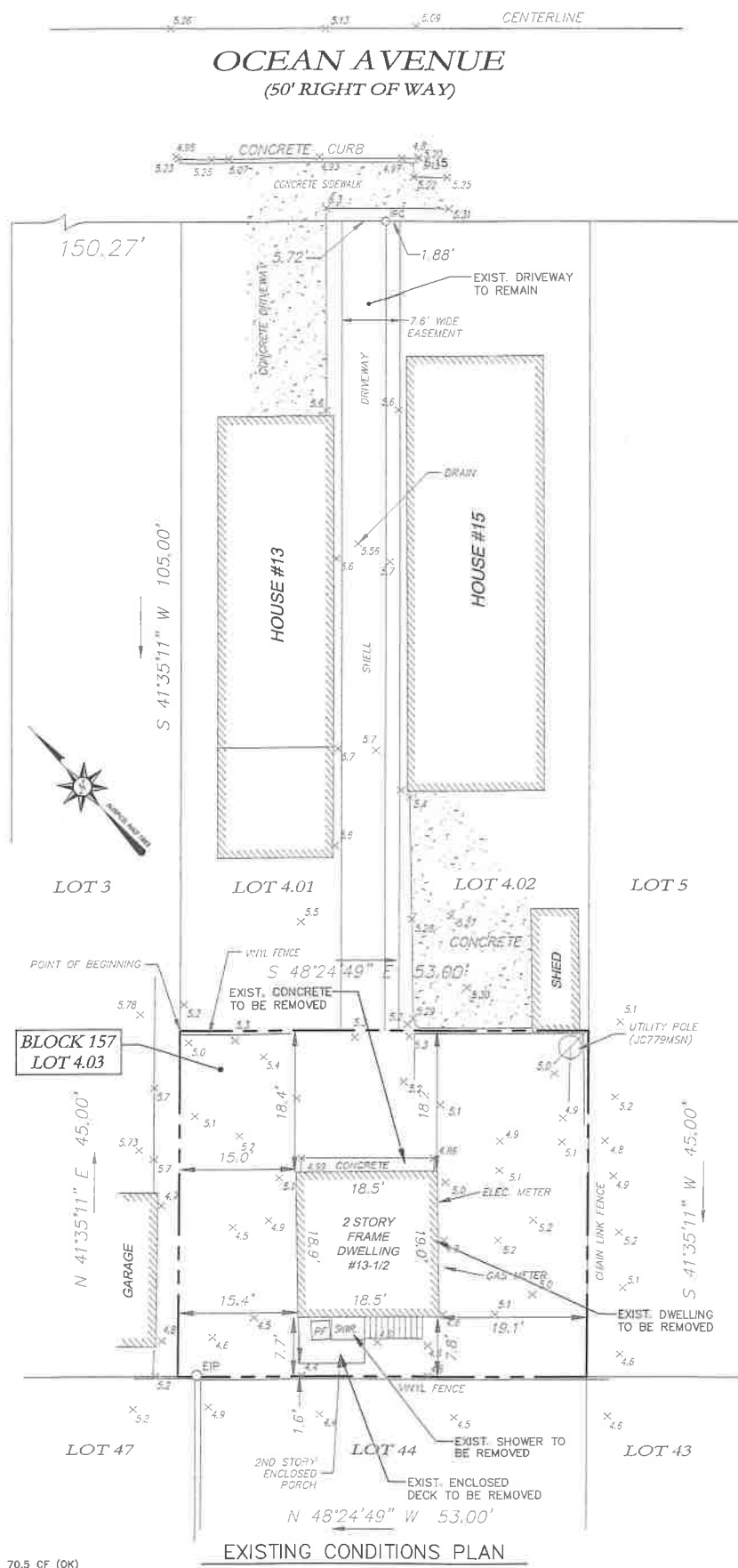


RECHARGE CALCULATIONS

- RECHARGE REQUIRED:
PROPOSED ROOF AREA = 845 SF
- 1 CF REQUIRED FOR EACH SF OF ROOF
845 SF / 12 SF = 70.5 CF (REQUIRED)
- RECHARGE VOLUME PROVIDED (EXCLUDES STONE)
AREA OF PIPE = $3.14 \times (0.25 \times 0.25) = 0.2 \text{ SF PER LF}$
AREA OF STONE = $(2 \times 2) - 0.2 \text{ SF} = 3.8 \text{ SF}$
AREA OF VOIDS = $3.8 \text{ SF} \times 0.40 = 1.5 \text{ SF PER LF}$
LENGTH OF RECHARGE = $35 + 35 = 70 \text{ LF}$
VOLUME OF RECHARGE = $70 \text{ LF} \times (0.2 \text{ sf} + 1.5 \text{ sf}) = 119 \text{ CF} > 70.5 \text{ CF (OK)}$

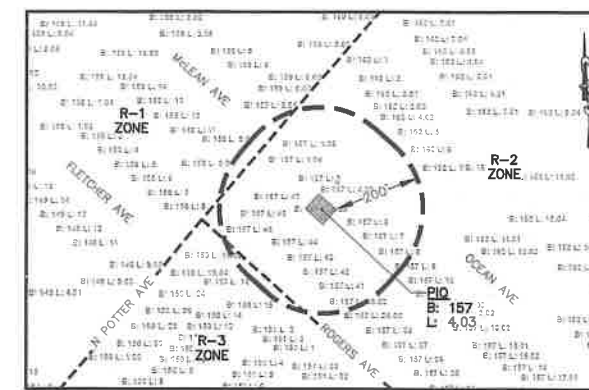
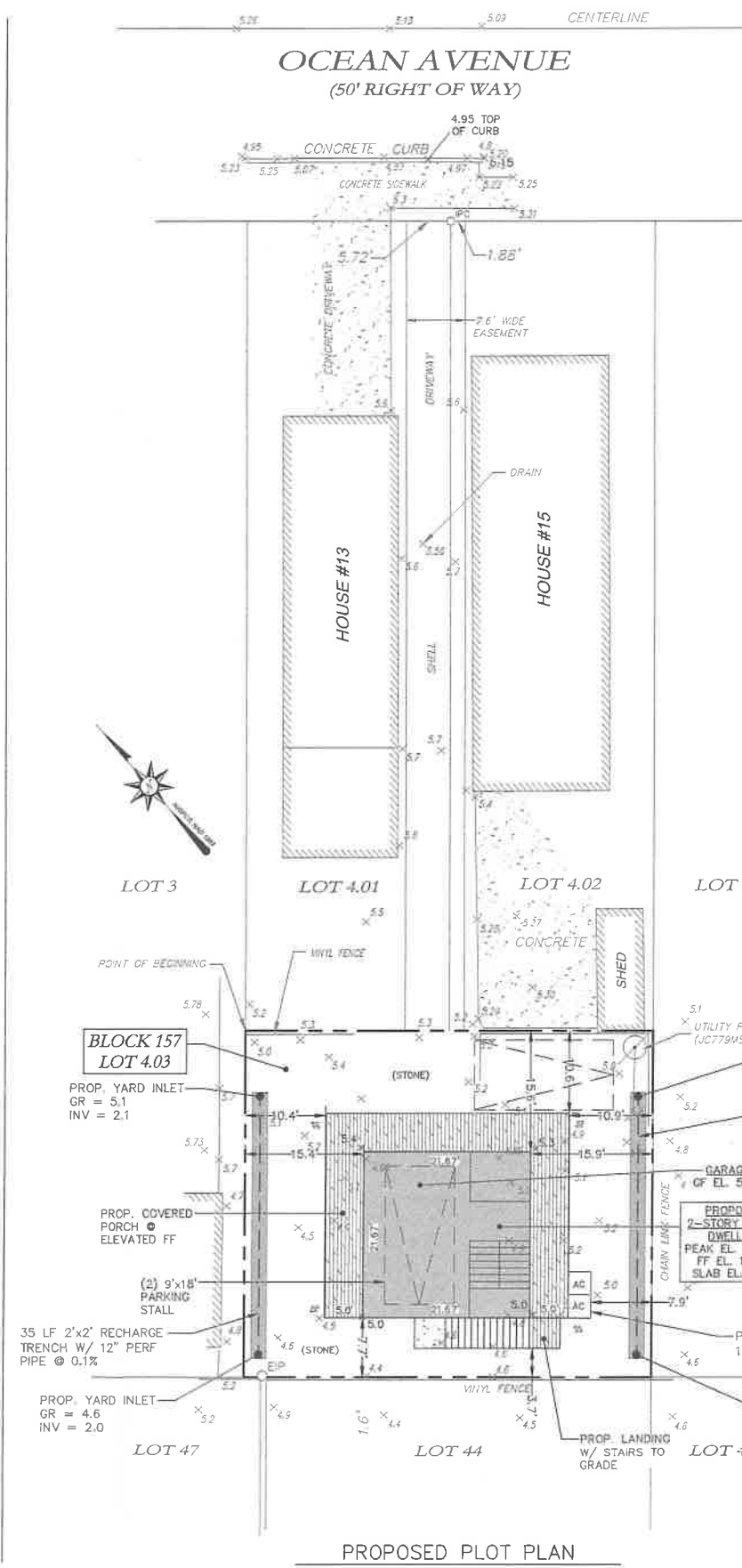
OCEAN AVENUE
(50' RIGHT OF WAY)

NORTH POTTER AVENUE
(50' RIGHT OF WAY)



OCEAN AVENUE
(50' RIGHT OF WAY)

NORTH POTTER AVENUE
(50' RIGHT OF WAY)



200' PROPERTY OWNERS LIST

Block	Lot	Property Address	Owner Name	Mailing Street	Mailing City, State, Zip Code
157	41	30 ROGERS AVE	NOTARO, MICHAEL & CHRISTINA	31 LAWRENCE RD	MADISON, NJ 07940
157	1.05	46 POTTER AVE N	O'CONNOR, EDWIN J & JANET M	11 RANITAN AVE	SOUTH AMBOY, NJ 08879
157	4.02	15 OCEAN AVE	CURTIS, JANICE BLAND, EUGENE ETAL	15 OCEAN AVE	MANASQUAN, NJ 08736
157	1.04	50 POTTER AVE N	MANCO, TINA L	PO BOX 334	MANASQUAN, NJ 08736
157	4.01	10 OCEAN AVE	DEFFINGER, DENISE	10 OCEAN AVE	MANASQUAN, NJ 08736
157	1.06	56 POTTER AVE N	GUTIERREZ, ANTHONY & MICHELE K	56 POTTER AVE N	MANASQUAN, NJ 08736
157	4.4	16 ROGERS AVE	ROSE, EDWARD W JR & CATHERINE	16 ROGERS AVE	MANASQUAN, NJ 08736
157	4.6	40 POTTER AVE N	GALE, RHONDA	5 VICTORIAN HILL	MANALAPAN, NJ 07726
158	8.04	45 POTTER AVE N	COZZA, LOUIS & JULIA	45 N POTTER AVE	MANASQUAN, NJ 08736
157	4.5	38 POTTER AVE N	GALE, RHONDA	5 VICTORIAN HILL	MANALAPAN, NJ 07726
157	8	28 OCEAN AVE	VAYAS, ANGELO & MARY	28 WASHINGTON PARK	MAPLEWOOD, NJ 07040
157	39.03	31 ROGERS AVE	DACHUC, JANET G	31 ROGERS AVE	MANASQUAN, NJ 08736
162	6	18-18 1/2 OCEAN AVE	MCARDONN, JOHN A & JOAN M	480 BELLEVUE DR	PEARBY, NJ 07031
162	7	16 OCEAN AVE	OSLER, ELIZABETH P	16 OCEAN AVE	MANASQUAN, NJ 08736
162	43	20 ROGERS AVE	MARINO, MARY JO	43 RED FOX CT	SULLYMAN, NJ 08555
162	42	24 ROGERS AVE	BIRNBAUM, DEBORAH A	65 SCHAEFER AVE	ORADELL, NJ 07048
162	47	42 POTTER AVE N	MONACO, KEVIN P & MAGGIE S	42 N POTTER AVE	MANASQUAN, NJ 08736
162	8	22 OCEAN AVE	GABELMANN, H ALAN & DONNA	22 OCEAN AVE	MANASQUAN, NJ 08736
162	4.03	15-15 1/2 OCEAN AVE	15 OCEAN AVENUE REAL ESTATE, LLC	15 OCEAN AVENUE	MANASQUAN, NJ 08736
162	3.03	12-14 OCEAN AVE	OCEAN AVENUE, LLC D/O STRLES	10 OCEAN AVE	MANASQUAN, NJ 08736
162	7	25 OCEAN AVE	WYND, COLIN W & LINDA	25 OCEAN AVE	MANASQUAN, NJ 08736
162	6	10 OCEAN AVE	MULLOY, PAUL & JUNE A	10 OCEAN AVE	MANASQUAN, NJ 08736
162	5	17 OCEAN AVE	FALCO, JOSEPH S & CAROLYN A	7 HUBBELL ROAD	WHITEHOUSE STATION, NJ 08889
162	4.01	13 OCEAN AVE	LUPINSKI, ADRIAN	97 BRITA PL	SPRINGFIELD, NJ 07081
162	3	11 OCEAN AVE	KEENAN, HAROLD E & MARY PATRICIA	11 OCEAN AVE	MANASQUAN, NJ 08736
162	2.01	10 OCEAN AVE	STILES, SANDRA E	10 OCEAN AVE	MANASQUAN, NJ 08736
162	1	46 POTTER AVE N	MOLTENI, EDWARD A & BARBARA J	2384 SYCAMORE ST	TWALL, NJ 08736

BUILDING COVERAGE		
ITEM	EXISTING (S.F.)	PROPOSED (S.F.)
DWELLING	351	470
COVERED / ENCLOSED PORCH	52	375
TOTAL	403	845
TOTAL AS A % of 2,385 sf	16.90%	35.43%

LOT COVERAGE		
ITEM	EXISTING (S.F.)	PROPOSED (S.F.)
BUILDING COVERAGE	403	845
CONCRETE	30	16
TOTAL	433	861
TOTAL AS A % of 2,385sf	18.16%	36.10%

ZONING REQUIREMENTS FOR RESIDENTIAL ZONE R-2			
ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA (min.)	5,000 SF	2,385 SF	* NO CHANGE (V)
LOT FRONTAGE (min.)	50'	7.6'	* NO CHANGE (V)
FRONT SETBACK (min.)			
PRINCIPAL	25'	18.2'	* 15.6' (V)
COVERED PORCH	25'	N/A	10.6' (V)
REAR SETBACK (min.)			
PRINCIPAL	20'	7.7'	* 7.7' (V)
ELEVATED LANDING	20'	1.6'	* 3.7' (V)
SIDE SETBACK (min.)			
PRINCIPAL	5' EACH	15.0' / 19.1'	15.4' / 15.9'
COVERED PORCH	5' EACH	15.4'	10.4' / 10.9'
BUILDING COVERAGE (max.)	30%	16.90%	35.43% (V)
LOT COVERAGE (max.)	45%	18.16%	36.10%
BUILDING HEIGHT (max.)	2.5 ST. / 33'	2 ST. / <33'	2 ST. / 33.0'

* EXISTING NON-CONFORMITY
** MEASURED FROM PEAK TO TOP OF CURB EL. 4.95
(V) VARIANCE REQUIRED

<p>REVISION NO. 1 DATE 1-17-22 ADD AC UNITS</p>	<p>NOTICE: THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF MCH ENGINEERING INC.</p>	<p>GRAPHIC SCALE IN FEET</p>	<p>MCH ENGINEERING, Inc 1010 COMMONS WAY, BLDG. G Toms River, NJ 08755 TEL: (732) 569-3592 FAX: (732) 553-2998</p>	<p>PLOT PLAN FOR VARIANCE 13 1/2 OCEAN AVENUE BLOCK 157 - LOT 4.03</p>	<p>PROJECT NO. 21-648 DATE 01/05/2021 DESIGNED BY SMF CHECKED BY MCH SCALE 1"=10' DRAWN BY MCH MCH ENGINEERING INC SHEET NO. 1 OF 1</p>
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